

ORIGINAL

CITY COUNCIL OF THE CITY OF NOVATO

ORDINANCE NO. 1712

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NOVATO REPEALING AND REPLACING CITY OF NOVATO ORDINANCE NO. 887, *FIREMAN'S FUND OFFICE PROJECT MASTER PLAN*, WITH THE COMBINED MASTER PLAN, PRECISE DEVELOPMENT PLAN, AND DESIGN REVIEW FOR 773, 775, AND 777 SAN MARIN ADDRESSING RESIDENTIAL REDEVELOPMENT OF THE FORMER FIREMAN'S FUND OFFICE CAMPUS, INCLUDING OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS APPLICABLE TO 773, 775, & 777 SAN MARIN DRIVE; (APNs 125-202-03, -04, & -05)

WHEREAS, on January 8, 1980, the Novato City Council adopted Ordinance No. 887, amending the San Marin East P-C Master Plan by adopting the Fireman's Fund Office Project Master Plan applicable to the property at 773, 775, and 777 San Marin Drive; and

WHEREAS, the City of Novato ("City") received a design review application (P2021-077) from BayWest Development ("Property Owner") to initiate the entitlement process to redevelop the former Fireman's Fund office campus into a residential community featuring detached single-family dwellings, townhomes, and apartments, as well as various on-site common open space and outdoor use areas, located on the property at 773, 775, and 777 San Marin Drive (hereafter "Property"); and

WHEREAS, the Property Owner submitted a residential redevelopment plan for the Property describing the number, type, distribution, and massing of new housing proposed for future development at the Property, as well as the general type and form of vehicle and pedestrian circulation and on-site common outdoor use and open space areas associated with residential redevelopment of the Property; and

WHEREAS, on July 29, 2021, the Property Owner hosted a neighborhood meeting to present its residential redevelopment plan to residents neighboring the Property, as well as interested members of the public; and

WHEREAS, on September 15, 2021, the Novato Design Review Commission conducted a design workshop to obtain public comment and provide feedback on the residential redevelopment plan; and

WHEREAS, the City was engaged in preparing its 6th cycle Housing Element update to, in part, demonstrate the ability to accommodate its Regional Housing Needs Allocation ("RHNA") of 2,090 dwelling units for the time period of 2023 to 2031; and

WHEREAS, the Property Owner requested the Community Development Department consider designating and zoning the Property to accommodate residential development as a policy of the then in-progress Housing Element; and

WHEREAS, the Property Owner's residential redevelopment proposal is recognized as a "Pipeline Project" in the now adopted Housing Element (January 2023) and its potential significant contribution toward meeting Novato's Regional Housing Need Allocation. Accordingly, the Community Development Department agreed to prepare general plan and zoning amendments (master plan and precise development plan) to accommodate residential use and development of the Property for Planning Commission and City Council consideration, provided the Property Owner prepared objective design standards accommodating the densities and building heights envisioned at the Property; and

WHEREAS, the Property Owner prepared draft objective design and development standards for residential development of the Property; and

WHEREAS, on January 18, 2023, the Design Review Commission hosted a workshop to receive public comment and provide feedback on the Property Owner's draft objective design and development standards for the Property; and

WHEREAS, on May 17, 2023, the Design Review Commission conducted a public hearing to consider, receive public comment on, and provide a recommendation to the Planning Commission and City Council regarding an amended version of the Property Owner's draft objective design standards for the Property; and

WHEREAS, on May 17, 2023, the Design Review Commission recommended the Planning Commission and City Council adopt the Property Owner's draft revised objective design and development standards with minor modifications; and

WHEREAS, Novato Municipal Code Section 19.42.060.C.3. allows for a master plan and precise development plan to be combined as a single plan; and

WHEREAS, the Community Development Department proposes to repeal and replace Novato Ordinance No. 887, approving the Fireman's Fund Office Project Master Plan, with the combined 773, 775, and 777 San Marin Master Plan, Precise Development Plan, and Design Review (hereafter "MP/PDP") addressing residential redevelopment of the Property, including objective design and development standards as specified herein below; and

WHEREAS, the City determined the MP/PDP is subject to the requirements of the California Environmental Quality Act ("CEQA") and its implementing regulations (CEQA Guidelines); and

WHEREAS, by separate resolution adopted prior hereto, the City Council adopted the Addendum to the certified environmental impact report ("Certified EIR") for Novato General Plan 2035. The Addendum considered the potential environmental implications of designating and zoning the Property for development of up to 1,300 dwelling units as acknowledged in the

MP/PDP; and

WHEREAS, by separate resolution adopted prior hereto, the City Council: a) amended Map GP-1 (Land Use Designations) of Novato General Plan 2035 to assign the High Density Multiple Family Residential (R20) land use designation to all land at the Property encircled by East Campus Drive and San Marin Drive and the Open Space (OS) land use designation to all lands outside of East Campus Drive; and, b) amended the text of Land Use Policy 27 and Living Well Program 2e in support of residential redevelopment of the Property; and

WHEREAS, the Planning Commission held a duly noticed public hearing on December 11, 2023, to consider and receive public testimony on the MP/PDP; and

WHEREAS, at its public hearing on December 11, 2023, the Planning Commission adopted a resolution recommending the City Council approve the MP/PDP; and

WHEREAS, public notices describing the City Council's public hearing on the MP/PDP were sent to all affected property owners within 600 feet of the boundaries of the Property, all public agencies potentially serving future residential development or having some oversight of residential construction at the Property, all responsible and trustee agencies, the Marin County Clerk, and all persons requesting notice pursuant to Novato Municipal Code Section 19.58.020, posted on the City's website, and published in the Marin Independent Journal, a newspaper of general circulation, on January 12, 2024; and

WHEREAS, the City Council held a duly noticed public hearing on January 23, 2024, to consider and receive public testimony on the Addendum, Amendments, and MP/PDP.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF NOVATO DOES FIND AND ORDAIN AS FOLLOWS:

Section 1. Recitals

The foregoing recitals are true and correct and are incorporated into the findings herein.

Section 2. Record

The Record of Proceedings ("Record") upon which the City Council bases its decision on the MP/PDP at issue herein includes, but is not limited to: (1) the Addendum and the Certified EIR including all appendices and attachments cited in and/or relied upon in preparing the Addendum and EIR, (2) the staff reports, City files and records and other documents, prepared for and/or submitted to the City relating to the Addendum, Certified EIR, the City's adopted 6th Cycle Housing Element (January 2023), and the MP/PDP (3) the evidence, facts, findings and other determinations set forth in this resolution, (4) Novato General Plan 2035 and the Novato Municipal Code, (5) all studies, data and correspondence submitted by the City in connection with the MP/PDP and the Addendum, (6) all documentary and oral evidence received at public workshops, meetings, and hearings, and (7) all other matters of common knowledge to the City Council including, but not limited to, City, state, and federal laws, policies, rules, regulations, reports,

records and projections related to development within the City of Novato and its surrounding areas.

The location and custodian of the records is the Novato Community Development Department, 922 Machin Avenue, Novato, California, 94945.

Section 3. Findings

Master Plan Findings

The City Council hereby makes the following findings as required by Section 19.42.060 E.3. of the Novato Municipal Code regarding the MP/PDP:

- a. The proposed Master Plan development is in conformance with the applicable goals and policies of the General Plan and any applicable specific plan.

The City Council, by separate resolution adopted prior hereto, amended: a) the description of the High Density Multiple Family Residential (R20) land use designation of Novato General Plan 2035 to allow detached single-family dwellings at the Property; b) Land Use Map GP-1 of Novato General Plan 2035 to assign the High Density Multiple Family Residential (R20) land use designation to all land at the Property encircled by East Campus Drive and San Marin Drive and the Open Space (OS) land use designation to all lands outside of East Campus Drive; and, c) Land Use Policy 27 and Living Well Program 2e to support residential redevelopment of the Property.

The MP/PDP, as detailed in *Exhibit A*, is consistent with Novato General Plan 2035 as documented in *Exhibit B*, attached hereto and incorporated herein by reference. *Exhibit B* lists each applicable policy of the General Plan followed by facts supporting the MP/PDP's consistency therewith. There is no specific plan applicable to the Property.

- b. The proposed Master Plan development can be adequately, conveniently, and reasonably served by public conveniences, facilities, services, and utilities.

The Property is currently developed with three separate office buildings comprising a total of approximately 711,000 square-feet of floor area. Given this circumstance, the Property is connected to potable and recycled water (North Marin Water District), sanitary sewer (Novato Sanitary District), and natural gas and electrical service (Pacific Gas and Electric). The Property receives public safety services from Novato Fire Protection District and the Novato Police Department.

The Community Development Department consulted with agency staff regarding residential redevelopment of the Property through the Department's monthly development coordination meetings. District staff have not indicated any constraints regarding providing service to future residential development at the Property. Agency staff have noted that new or upgraded utility connections, new or modified utility easements, and revised service agreements are likely necessary and will be determined at the time specific residential projects are proposed within the development districts identified in the MP/PDP. Agency staff referenced their agency's adopted design standards when discussing residential redevelopment of the Property. Future subdivision

and project specific design proposals will be referred to each district for review and comment regarding utility infrastructure.

The CEQA Addendum analyzed the ability of local government services and public utilities to serve future residential development at the Property based on the dwelling types and density contemplated in the MP/PDP. The Addendum also reviewed the demand for public parks and other government service facilities (e.g., post office, library, etc.). The Addendum confirmed that public services have sufficient resources to serve future residents at the Property.

- c. The proposed Master Plan development concepts are reasonably suited to the specific characteristics of the site and the surrounding neighborhood; and
- d. The location, access, density/building intensity, size and type of uses proposed in the Master Plan are compatible with the existing and future land uses in the surrounding neighborhood.

The MP/PDP addresses residential redevelopment of the Property with 1,000 and up to 1,300 residential dwelling units. This level of development represents a gross density of 20 dwelling units per acre based on the entirety of the 65-acre property and a net density of approximately 30 units per acre based on the area of the Property assigned the High Density Multiple Family Residential (R20) land use designation of Novato General Plan 2035.

The MP/PDP allows residential development only within the areas of the Property assigned the R20 land use designation. This area is bounded by East Campus Drive and San Marin Drive and currently hosts the former Fireman's Fund offices, including associated roadways, parking areas, and outdoor use spaces. As a result, the MP/PDP requires the clustering of development on the disturbed, flatter, and unconstrained portions of the Property. The MP/PDP does not allow residential development in the area of the Property assigned the OS land use designation. Accordingly, future residential development will not disturb the slopes, oak woodlands, and wetlands lying beyond East Campus Drive.

Surrounding land uses include single-family residential neighborhoods (Partridge Knolls II and San Marin East) and offices adjacent to the Property, the Buck Institute located to the northwest, the Birkenstock property to the north, and US Highway 101/Redwood Boulevard/San Marin SMART Station and other commercial/industrial uses to the east. Additionally, Gness Field Airport is located 1.6 miles to the northeast of the Property.

The MP/PDP is responsive to the context of the Property by allowing a pattern of development locating higher unit density and greater building heights closer to the Highway 101/Redwood Boulevard corridor transitioning to lower densities and lower height buildings as development progresses west and closer to the Partridge Knolls II neighborhood. Transitioning development from greater to lesser intensity groupings of residences reflects a sensitivity to the massing relationships of the building types allowed by the MP/PDP and surrounding single-family residences. That is, larger apartment buildings are not placed immediately adjacent to smaller single-family residences.

The MP/PDP includes architectural standards and styles that are consistent with the single- and multi-family residential development prevalent in the Novato, including Craftsman, Prairie, Spanish Colonial, Tuscan, Traditional Farmhouse, Modern Farmhouse and Contemporary. These architectural styles are commonly mixed within developments and are considered to be compatible with one and other, including where such styles interface with existing neighborhoods that might be of one particular style or another.

The objective design standards of the MP/PDP were presented to the Design Review Commission (DRC) on January 19, 2023, and May 17, 2023. The purpose of the DRC's review was to provide a recommendation to the Planning Commission and City Council regarding whether residential development of the Property pursuant to the objective design standards would be compatible with the Property and its surrounding context.

On May 17, 2023, the DRC recommended the Planning Commission and City Council approve the objective design standards for the Property. The DRC recognized the objective standards for presenting a well resolved arrangement of residential development and common outdoor use areas, appropriate building mass/scale, acceptable architecture, and the provision of adequate vehicle, pedestrian, and bicycle circulation and access. The DRC's recommendation was based on the required findings for Design Review, including applicable design related policies of Novato General Plan 2035. Overall, the DRC considers the developable area of the Property to be physically suitable for residential redevelopment as directed by the objective design standards. Likewise, the DRC viewed the objective design standards to result in future residential development that will be physically compatible with surrounding development.

Based on the observations above and the General Plan consistency findings included in Attachment B, the MP/PDP is consistent with Findings c. and d.

Precise Development Plan Findings

The City Council hereby makes the following findings as required by Section 19.42.060 F.3. of the Novato Municipal Code with the respect to the Precise Development Plan:

- a. The proposed Precise Development Plan is consistent with the General Plan, any applicable specific plan, and master plan.

Please refer to Master Plan finding a. above.

- b. The proposed precise development plan would produce a comprehensive development of superior quality (e.g., appropriate variety of structure placement and orientation opportunities, appropriate mix of land uses and structure sizes, high quality architectural design, appropriate and attractive amounts of landscaping and open space, solutions to the design and placement of parking facilities, etc.) than might otherwise occur from more traditional development applications;

The MP/PDP specifies the design and development standards applicable to future residential development at the Property. These standards, as provided in **Exhibits A and AI**, attached hereto

and incorporated herein by reference, are specifically tailored to the configuration and constraints found within the area of the Property designated for future residential development and its surrounding context, including nearby residential neighborhoods and offices. As a result, the MP/PDP will produce a comprehensive residential community of superior quality than might be otherwise achievable through the application of the traditional development standards of the Novato Municipal Code based on the observations below.

The MP/PDP limits residential development and associated improvements and amenities to the area of the Property bounded by East Campus Drive and San Marin Drive. This area is currently developed with three office buildings and associated amenities (parking lots, sports fields, man-made pond, etc.) and is the flattest portion of the Property. As a result, the balance of the MP/PDP area will be retained as open space thereby avoiding disturbance of the slopes, oak woodlands, and wetlands located beyond the limits of East Campus Drive.

The MP/PDP addresses three (3) development districts providing different housing opportunities and densities, including District SM1 (detached single-family dwellings and junior accessory dwelling units), District SM2 (townhomes), and District SM3 (apartments with structured parking). Each district will be connected by the common open space areas depicted in *Exhibit AI*.

The MP/PDP includes approximately 6-acres of common outdoor use area for residents, including greenways connecting each development district. The arrangement of common outdoor use and open space areas is intended to support a connected community by providing space for active and passive recreation and opportunities for socializing amongst residents. In addition, the common outdoor use and open space areas support pedestrian and bicycle circulation through the Property with connections to East Campus Drive, San Marin Drive, and Redwood Boulevard. The greenway connection to Redwood Boulevard would be proximal to the San Marin SMART station.

The MP/PDP is designed around the constraints imposed by existing utility easements on the Property, including sizable storm drainage pipes and two natural gas transmission pipelines. The MP/PDP responds to these constraints by specifying residential lot sizes and configurations (e.g., courtyard single-family residences) and roadway types that can be accommodated within the irregularly shaped development areas formed by the alignment of East Campus Drive and the utility easements at the Property.

The MP/PDP specifies a pattern of development locating higher unit density and greater building heights closer to the Highway 101/Redwood Boulevard corridor transitioning to lower densities and lower height buildings as development progresses west and closer to the Partridge Knolls II neighborhood. This arrangement of residential development reflects a sensitivity to the massing relationships of the building types allowed by the MP/PDP and surrounding single-family residences. That is, larger apartment buildings are not placed immediately adjacent to smaller single-family residences.

The MP/PDP incorporates the Property Owner's objective site design and architecture standards to direct the design of future residential development proposals in each development district. The

standards incorporate opportunities for traditional home designs, including the option to include porches/verandas encroaching into certain street-facing setbacks to bring architecture and activity to the street edge. The standards also include setback criteria allowing individual lot designs with alley and side loaded garages. The Standards specify architectural styles that are consistent with the single- and multi-family residential development prevalent in the Novato, including Craftsman, Prairie, Spanish Colonial, Tuscan, Traditional Farmhouse, Modern Farmhouse and Contemporary. The standards address the defining characteristics and enhancement options for each architectural style, such as roof form, trims/accents, exterior finishes, and color/finish combinations, to ensure an authentic representation of a given style. Overall, the standards provide variation and consistency with the character of surrounding neighborhoods and will provide an attractive environment for residents, visitors, and the larger community.

On May 17, 2023, the Design Review Commission (“DRC”) conducted a public hearing to consider making a formal recommendation to the Planning Commission and City Council regarding the Property Owner’s site design and architectural standards. The DRC recommended the Planning Commission and City Council approve the standards.

Exhibit A of the MP/PDP provides objective development standards ensuring the quality of development at the Property, including provisions addressing fencing, mechanical equipment screening, solid waste and recyclable storage, public art, exterior lighting, landscaping, vehicle/motorcycle/bicycle parking, and signs. These standards are adapted from the Novato Municipal Code based on the residential dwelling types to be constructed at the Property. Application of these standards will ensure the quality and functionality of future residential developments at the Property.

- c. The design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access and public services and utilities (e.g., drainage, fire protection, sewers, water, etc.), would ensure that the proposed development would not endanger, jeopardize, or otherwise be detrimental to the public health, safety, or general welfare, or injurious to the property, or improvements in the vicinity and zoning district in which the property is located;

The Property is currently developed with three separate office buildings comprising a total of approximately 711,000 square-feet of floor area. Given this circumstance, the Property is connected to potable and recycled water (North Marin Water District), sanitary sewer (Novato Sanitary District), and natural gas and electrical service (Pacific Gas and Electric). The Property receives public safety services from Novato Fire Protection District and the Novato Police Department.

The Community Development Department consulted with agency staff regarding residential redevelopment of the Property through the Department’s monthly development coordination meetings. District staff have not indicated any concerns regarding serving future residents at the Property. Agency staff have noted that new or upgraded utility connections, new or modified utility easements, and revised service agreements are likely necessary and will be determined at the time specific residential projects are proposed for the development districts identified in the MP/PDP.

District staff referenced their agency's adopted design standards, the California Residential Code and Building Codes, and Uniform Fire Code when discussing residential redevelopment of the Property. Future subdivisions and project specific design proposals proposed pursuant to the MP/PDP will be referred to each service district for review and comment regarding infrastructure design, including utility connections, to ensure compliance with uniform design and construction regulations, including measures addressing: service laterals, backflow prevention devices, water and energy efficiency, geologic conditions, stormwater drainage connections to the existing on-site drainage system, stormwater pollution prevention improvements (e.g., detention basins), circulation design (e.g., curve radii, vehicle turning radii, pavement structural sections, traffic controls, sight distance, etc.), emergency vehicle access (e.g., turnouts, hammerhead turn-arounds, fire lanes, etc.). Each agency's regulations are intended ensure the design of a given development will not endanger, jeopardize, or otherwise be detrimental to the public health, safety, or general welfare, or injurious to the property, or improvements in the vicinity of the Property. Compliance with district standards are a pre-requisite to obtaining service agreements, construction permits, and occupancy approvals.

The Addendum addressing the Property analyzed the potential for future residential development to result in potential hazards. The Addendum concluded, consistent with the Certified EIR, that future residential development at the Property would not have significant impacts related to hazards on the basis of application of the uniform design and operational regulations (e.g., California Residential Code and Building Codes) and agency specific requirements of the type described above. In addition, the Addendum references application of the mitigation measures of the Certified EIR, including Mitigation Measures AQ-1(Construction Emissions Measures), AQ-2 (Health Risk Assessments), N-1 (Construction Noise Reduction), and N-2 (Construction Vibration Reduction), intended to avoid or minimized potential impacts to public health, safety, and welfare. The MP/PDP requires compliance with the applicable mitigation measures of the Certified EIR.

- d. The proposed precise development plan standards are reasonably suited to the specific characteristics of the site, and are compatible with the existing and future land uses in the surrounding neighborhood;

Refer to Master Plan findings c. and d. above. Also refer to Precise Development Plan finding b. above.

- e. The subject site is:

- 1. Physically suitable for the type and density/intensity of development being proposed;

Refer to Master Plan findings c. and d. above.

- 2. Adequate in shape and size to accommodate the use and all fences and walls, landscaping, loading, parking, yards, and other features required by the zoning code; and

Exhibits A and AI of the MP/PDP provide design and development standards tailored to the

characteristics of the Property and the type and intensity of residential development contemplated thereon. The standards contained in *Exhibit A* and *AI* address the design of: fences/walls/hedges, sight distance, ground/wall/rooftop mechanical equipment screening, solid waste/recyclables storage, exterior lighting, landscaping, vehicle/motorcycle/bicycle parking, driveways/drive aisles, and signs. *Exhibit AI* specifically addresses minimum building setbacks and separations, maximum building heights, roadway types (e.g., residential street, residential lane, etc.), common outdoor use areas and amenities, and architectural styles and associated design elements.

Many of the referenced standards are adapted from the residential development regulations of the Novato Municipal Code, including Chapter 19, *Zoning*. The standards of *Exhibit AI*, prepared by experienced engineering, architecture, urban planning, and landscape professionals, have been specifically drafted to accommodate development of the Property with 1,000 to 1,300 dwellings with consideration given to the irregular shape of the residential development area, the intent to retain the East Campus Drive for internal circulation, and the various constraints (e.g., utility easements) present in this area.

Based on the observations above, the MP/PDP is responsive to shape and size of the Property.

3. Served by streets and pedestrian facilities adequate in width and pavement type to carry the quantity and type of traffic expected to be generated by the proposed development.

Access to the Property is taken from San Marin Drive via two signalized intersections at East Campus Drive (also referred to as “Loop Road”). San Marin Drive is an arterial roadway designed to accommodate the daily vehicle volumes of the former Fireman’s Fund office campus and development of the larger San Marin community to the west. San Marin Drive is part of the larger San Marin/Atherton/Redwood Boulevard/US 101 interchange.

The Addendum, as supported by a focused transportation analysis, considered vehicle trip generation associated with residential redevelopment of the Property based on the type and number of dwellings contemplated in MP/PDP. The analysis considered the cumulative effect of the land use changes, including that applicable to the Property, associated with Novato’s 6th Cycle Housing Element. The focused transportation analysis concluded conversion of the Property from office use to residential use would result in a net reduction of daily and peak hour vehicle trips, as well as reductions in vehicle miles travelled (VMT). These findings are also true on a cumulative basis.

The focused transportation analysis concludes the residential conversions studied therein, including that applicable to the Property, would not result in a significant VMT impact. Further, the focused transportation analysis concludes that congestion levels (as expressed in Level of Service) at the San Marin/Atherton/Redwood Boulevard/US 101 interchange would be reduced as compared to the congestion level anticipated with the type and intensity of development contemplated in the Certified EIR. Nevertheless, the Certified EIR determined the LOS impact at San Marin/Atherton/Redwood Boulevard/US 101 interchange was significant and prescribes Mitigation Measure T-1 (Intersection Delay) specifying a variety of roadway improvements, including roadway widening at specific locations, restriping of lanes, and signal timing coordination and phasing modifications. Implementation of Mitigation Measure T-1 would improve PM Peak LOS

to meet the criteria of Novato General Plan Mobility Policy 2. The MP/PDP requires compliance with the mitigation measures of the Certified EIR. Accordingly, the Project is required, at a minimum, to pay development impacts fees to fund its proportionate share of the improvements contemplated in Mitigation Measure T-1. Based on this circumstance, the MP/PDP will be served by roadways adequate to accommodate the quantity and type of dwelling units allowed at the Property.

Exhibit A1 includes circulation standards specifying the road type designs acceptable at the Property based on the type and intensity of development anticipated in the MP/PDP. The road type designs include the following: Residential Street-Modified Section (Loop Road), Residential Lane, Residential Alley, Minor Residential Street (38'), Minor Residential Street (48'), Minor Residential Street - No Parking (36'), Minor Residential Street – No Parking (48'), and Minor Residential Street –With Parking (54'). These road type designs are based on the uniform residential street types acknowledged in Novato Municipal Code Section 5-45 with modifications based on the specific characteristics of the Property and the potential configuration of residential dwellings therein. The intent of the road type designs is to provide streets that accommodate anticipated vehicle volumes, are pedestrian friendly, and meet fire access and uniform engineering standards.

The specific road type design(s) for a given development will be selected and considered through the subdivision or design review process applicable to future residential proposals. At that time, the City will consider whether a selected street type(s) is appropriate for a given development, including consideration given to on-street parking, pedestrian improvements, and bicycle accommodations as appropriate. Likewise, the Novato Fire Protection District will consider selected roadways and individual roadway configurations to ensure adequate emergency access. Based on the observations above, the residential development allowed by the MP/PDP will be served by streets and pedestrian facilities adequate in width and pavement type to carry the quantity and type of traffic expected to be generated by such development.

Design Review Findings

The City Council hereby makes the following findings as required by Section 19.42.030 F. of the Novato Municipal Code with the respect to the MP/PDP, based on the findings and recommendation of the Novato Design Review Commission as discussed below.

- a. The design, layout, size, architectural features and general appearance of the proposed project is consistent with the general plan, and any applicable specific plan and with the development standards, design guidelines and all applicable provisions of this [zoning] code, including this title and any approved master plan and precise development plan.

Great Places Chapter – Community Character Policies

CC Policy 5: Clustering of Development. Encourage clustering of development on sites with environmental constraints in order to achieve environmental goals and attain densities within the range of the land use designation. Clustering of development may result in densities on some portions of a site exceeding the maximum densities or intensities in Table GP-3. Ensure that clustered development

is compatible with the surrounding neighborhoods.

The Property is 65-acres in area, including approximately 21-acres of undeveloped, hillside and wetland areas. The MP/PDP contemplates development of 44-acres of land within East Campus Drive (a.k.a., “Loop Road”) at the Property, thereby retaining the balance of the undeveloped areas of the Property as open space. This approach to redevelopment of the Property clusters new residences, active and passive common outdoor spaces, and supporting infrastructure on already disturbed land consistent with CC Policy 5.

CC Policy 12: Compatibility of Development with Surroundings. Ensure that new development is sensitive to the surrounding architecture, topography, landscaping, and to the character, scale, and ambiance of the surrounding neighborhood, and consistent with adopted City policies and design guidelines. Recognize that neighborhoods include community facilities needed by Novato residents as well as homes, and integrate facilities into neighborhoods.

The Property is located adjacent to the Partridge Knolls II neighborhood to the northwest, San Marin East neighborhood to the south, San Marin SMART station and US Highway 101 to the east, and a portion of the Burdell Open Space Preserve to the west. Additionally, commercial, office, research, and residential uses are located nearby on Redwood Boulevard and Wood Hollow Drive. The Property itself is currently developed with three office buildings of four floors each, representing a total floor area of approximately 711,000 square feet. This pattern of development forms the context of the Property.

The overall site design envisioned in the MP/PDP focuses development on previously disturbed portions of the Property, leaving the existing wetland and oak woodland areas beyond East Campus Drive undeveloped. In addition, the site design contemplates retaining existing landscape areas for improvement as common open space areas, such as the berm area along San Marin Drive (see *Exhibit A1*). As a result, future residential projects will fall within the same boundaries of development that currently exist at the Property. Given this circumstance, the MP/PDP respects the topography and natural features found at the Property, will not impose on surrounding development, nor alter the character or ambiance of the nearby neighborhoods.

The MP/PDP directs a pattern of development featuring higher unit density and greater building heights closer to the Highway 101/Redwood Boulevard corridor transitioning to lower densities and lower height buildings as development progresses west and closer to the Partridge Knolls II neighborhood. Transitioning development from greater to lesser intensity groupings of residences reflects a sensitivity to the massing relationships of the building types allowed by the MP/PDP and surrounding single-family residences. That is, larger apartment buildings are not placed immediately adjacent to smaller single-family residences.

The MP/PDP includes architectural styles that are consistent with the single- and multi-family residential development prevalent in the Novato, including Craftsman, Prairie, Spanish Colonial, Tuscan, Traditional Farmhouse, Modern Farmhouse and Contemporary. These architectural styles are commonly mixed within developments and are compatible with one and other, including where such styles interface with existing neighborhoods that might be of one particular style or another.

The residential developments most proximal to the site, Partridge Knolls II and San Marin East, feature architecture predominantly based on interpretations of the Craftsman style. The MP/PDP will introduce more architectural variety to the area. However, this circumstance will not detract from or diminish the architectural identity of Partridge Knolls II or San Marin East as the developable area of the Property is well separated from these neighborhoods. Therefore, the future residential development at the Property will stand on its own from an architectural identity perspective.

Based on the observations above, the MP/PDP is consistent with CC Policy 12.

CC Policy 13: Architectural Character. The architecture of new development should be authentic to the style being expressed, with appropriate finish details (materials, colors, application techniques).

The MP/PDP includes architectural styles that are consistent with the single- and multi-family residential development prevalent in the Novato, including Craftsman, Prairie, Spanish Colonial, Tuscan, Traditional Farmhouse, Modern Farmhouse and Contemporary. The MP/PDP specifies the defining characteristics and enhancement options for each architectural style, such as roof form, trims/accents, exterior finishes, and color/finish combinations, to ensure an authentic representation of a given style. Therefore, the architectural section of the MP/PDP is consistent with CC Policy 13.

CC Policy 14: Traditional Site Design. Explore the use of traditional site design and architectural principles in areas with established patterns or sufficiently large development areas to use those principles successfully. Elements of traditional site design and architecture include:

sidewalks with curbs, gutters, and a planting strip between the sidewalk and the roadway;

traditional home designs with porches and verandas;

trees planted adjacent to arterial streets and highways;

garages in the rear or sides of properties.

The MP/PDP incorporates opportunities for traditional home design, including the option to include porches/verandas encroaching into certain street-facing setbacks to bring architecture and activity to the street edge. The MP/PDP also includes setback criteria allowing individual lot designs with alley and side loaded garages. The MP/PDP includes street types incorporating fully dimensioned sections, including sidewalks with curbs, gutters, and a planting strip for trees between the sidewalk and the roadway. These aspects of the MP/PDP are consistent with traditional site design and architectural principles addressed by CC Policy 14.

Novato Zoning Ordinance

The Property is zoned Planned District (PD). The PD zoning district requires the approval of a master plan and precise development plan. Master plans and precise development plans are intended to promote and encourage innovation and flexibility in design for more effective environmental resource preservation and greater sensitivity to the characteristics of a site and its surrounding properties. Accordingly, a master plan/precise development plan need not adhere to the uniform development and design standards of the Zoning Ordinance, but rather specify property and/or project specific standards. Given this circumstance, the MP/PDP need not meet the zoning consistency requirement of Design Review finding a. Nevertheless, the MP/PDP includes site specific design and development standards, as presented in *Exhibits A and AI*, including provisions adapted from the standards of the Zoning Ordinance.

- b. The proposed project would maintain and enhance the community's character, provide for harmonious and orderly development, and create a desirable environment for the occupants, neighbors, and visiting public.

The MP/PDP provides site design, common open space, building height/massing, and architectural requirements that are unique to the Property and the type and intensity of the residential development envisioned thereon. These elements of the MP/PDP will maintain and enhance Novato's community character and create a desirable environment for the occupants, neighbors, and visiting public consistent with finding b. In particular, the design and development standards in the MP/PDP:

1. Address a variety of individual parcel layout options, common open space amenities, and architectural styles resulting in a varied, yet cohesive visual appearance amongst the different development areas contemplated within the Property;
2. Incorporate reasonable maximum building heights for single-family and townhome dwellings reflective of the prevalent design approach for compact residential neighborhoods where floor area is prioritized by home buyers versus larger lot areas with more generous private outdoor space;
3. Allow a maximum multi-family residential (apartments) building height of 65-feet that is generally comparable to the total height (approximately 68-feet to mechanical penthouse) of the former Fireman's Fund offices currently located on the Property;
4. Provide common open space areas for active and passive recreation amenities and pathways connecting the different development areas within one another, as well as providing a link to the San Marin SMART station;
5. Establish acceptable common open space amenities and require a minimum number of such features in each outdoor use area based on its size;
6. Include building step-backs, insets, and projections to reduce the appearance of building mass and create architectural interest;
7. Provide a reasonable range of architectural styles and associated design criteria

ensuring new homes feature the defining elements and enhancements accurate to each style proposed.

See also the discussion for General Plan policies CC 12 and CC 13 above.

- c. The proposed development would not be detrimental to the public health, safety, or welfare; is not materially injurious to the properties or improvements in the vicinity; does not interfere with the use and enjoyment of neighboring existing or future developments and does not create potential traffic, pedestrian or bicycle hazards.

The design and development standards of the MP/PDP are focused on the overall siting of the residential types proposed in each development district (SM1, SM2, SM3) proposed at the Property, the location of new buildings from an individual lot perspective, height/mass of new residences, and the architectural appearance of the buildings envisioned at the Property. The design and development standards apply to the specific district in which new residences will be located, and the individual lots that will be created for development. These standards do not apply to any areas outside of the Property. Accordingly, the MP/PDP will not be materially injurious to property or improvements in the vicinity, interfere with the use and enjoyment of existing or future development in the area, nor cause potential traffic, pedestrian, or bicycle hazards. The design and development standards of the MP/PDP maintain public health, safety, and welfare by ensuring future dwellings are appropriately distributed across the Property, reasonably sized for the lots on which they will be sited, and present an attractive appearance.

Section 4. Decision

The City Council hereby approves the MP/PDP, as described in *Exhibit A* and *A1*, based on the findings set forth herein and provided in *Exhibit B*.

Section 5: Severability

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance.

The City Council hereby declares that it would have passed this and each section, subsection, phrase, or clause thereof irrespective of the fact that any one or more sections, subsections, phrase or clauses be declared unconstitutional on their face or as applied.

Section 6: Publication and Effective Date

This ordinance shall be published in accordance with applicable provisions of law, by either:

publishing the entire ordinance once in a newspaper of general circulation, published in the City of Novato, within fifteen (15) days after its passage and adoption, or

publishing the title or appropriate summary in a newspaper of general circulation, published in the City of Novato, at least five (5) days prior to adoption, and a second time within fifteen

(15) days after its passage and adoption with the names of those City Councilmembers voting for and against the ordinance.

This ordinance shall become effective 30 days after the date of its passage and adoption.

* * * * *

I HEREBY CERTIFY that the foregoing ordinance was first read at a regular meeting of the Novato City Council on the 23rd day of January, 2024, and was passed and adopted at a regular meeting of the Novato City Council on the 13th day of February, 2024 by the following vote, to wit:

AYES: Councilmembers *Ehlund, Farac, Wernick, O'Connor, Milberg*
NOES: Councilmembers
ABSTAIN: Councilmembers
ABSENT: Councilmembers

Mark J. Milberg
Mayor of the City of Novato

Attest:

Yana McDonald
City Clerk of the City of Novato

Approved as to form:

Nancy B. Bell
City Attorney of the City of Novato

Attachments

- Exhibit A – 773, 775, & 777 San Marin Master Plan & Precise Development Plan
- Exhibit A1 – 773, 775, & 777 San Marin Objective Design Standards (December 2023)
- Exhibit B – General Plan Consistency Findings
- Exhibit C – Mitigation Monitoring and Reporting Program

EXHIBIT A
773, 775, & 777 SAN MARIN
MASTER PLAN & PRECISE DEVELOPMENT

The following land use, development standards, and permitting requirements apply to all new residential developments proposed within Development Districts SM1, SM2, and SM3 of the 777 San Marin Master Plan and Precise Development Plan area (hereafter “Plan Area”) as delineated on Exhibit 1.1 of Exhibit A1 - *777 San Marin Objective Design Standards*, dated May 2023, attached hereto and incorporated herein by reference.

A. Permitted Land Uses

1. Development District SM1:

Land Use	Applicable Standards
Single-Family Detached Dwelling Units	Exhibit A & A1
Accessory Dwelling Units	NMC ¹ Section 19.34.030 & Exhibit A1
Junior Accessory Dwelling Units	NMC Section 19.34.031
Accessory Structures	NMC Section 19.34.032
Animal Keeping	NMC Section 19.34.060 (R20 District)
Cannabis Cultivation – Personal Indoor	NMC Section 19.34.065
Common Open Space/Outdoor Use	Exhibit A & A1
Child/Adult Day Care - 14 or Fewer Persons	NMC Division 19.10 NMC 19.34.070
Group Homes - 6 or Fewer Persons	NMC Division 19.10
Home Occupations	NMC Section 19.34.080

2. Development District SM2:

Land Use	Applicable Standards
Attached Multi-Family Dwelling Units (Townhomes, Rowhouses, Garden Homes)	Exhibit A & A1
Accessory Dwelling Units	NMC Section 19.34.030 & Exhibit A1
Junior Accessory Dwelling Units	Prohibited
Accessory Structures	NMC Section 19.34.032
Animal Keeping	NMC Section 19.34.060 (R20 District)
Cannabis Cultivation – Personal Indoor	NMC Section 19.34.065
Common Open Space/Outdoor Use	Exhibit A & A1
Child/Adult Day Care, 14 or fewer persons	NMC Division 19.10 NMC Section 19.34.070
Group Homes, 6 or fewer persons	NMC Division 19.10
Home Occupations	NMC 19.34.080

¹ Novato Municipal Code (NMC)

3. Development District SM3:

Land Use	Applicable Standards
Multi-Family Dwelling Units (Apartments)	Exhibit A & A1
Accessory Dwelling Units	NMC Section 19.34.030 & Exhibit A1
Junior Accessory Dwelling Units	Prohibited
Accessory Structures	NMC Section 19.34.032
Animal Keeping	NMC Section 19.34.060 (R20 District)
Cannabis Cultivation – Personal Indoor	NMC Section 19.34.065
Common Open Space/Outdoor Use	Exhibit A & A1
Child/Adult Day Care, 14 or fewer persons	NMC Division 19.10 NMC Section 19.34.070
Group Homes, 6 or fewer persons	NMC Division 19.10
Home Occupations	NMC Section 19.34.080

4. Open Space Area A - (Exhibit 2.1a of Exhibit A1)

Land Use	Applicable Standards
Hiking Trails	NMC Chapter 19 – As Applicable
Outdoor Recreation Facilities, Passive	NMC Chapter 19 – As Applicable

B. Minimum and Maximum Number of Primary Dwelling Units

The Plan Area shall be developed with a minimum of 1,000 primary dwelling units (e.g., single-family detached dwelling, townhomes, and apartments) and may be developed with up to a maximum of 1,300 primary dwelling units (not inclusive of accessory dwelling units or junior accessory dwelling units). Primary dwelling units shall be allocated to the Development Districts identified on Exhibit 1.1 of Exhibit A1 as follows:

1. District SM1 shall be developed with a minimum of 160 or up to a maximum of 240 detached single-family dwelling units.
2. District SM2 shall be developed with a minimum of 115 or up to a maximum of 210 multi-family dwelling units (e.g., townhomes, row houses, and garden homes).
3. District SM3 shall be developed with a minimum of 725 or up to a maximum of 850 multi-family apartments.

C. Junior Accessory Dwelling Units Required

A minimum of 25% of the detached single-family dwelling units proposed in each development within District SM1 shall be designed and constructed to include a junior accessory dwelling unit meeting the requirements of NMC Section 19.34.031. Junior accessory dwelling units shall not be counted toward meeting the requirements of Section B. above. The required junior accessory dwelling units shall not be counted toward satisfying the affordable housing requirements of Section D below.

D. Affordable Housing Requirements

1. Minimum Number of Inclusionary Affordable Housing Units Required. The following minimum percentages of affordable housing shall be provided in the Plan Area:
 - (a) District SM1 – 15% of the total number of primary housing units to be constructed therein.
 - (b) District SM2 – 15% of the total number of primary housing units to be constructed therein.
 - (c) District SM3 – 23% of the total number of primary housing units to be constructed therein.
2. Affordable Housing Unit Allocation, Income Categories, & Rental/Sales Price Calculations. Affordable housing units shall be provided in compliance with the requirements specified in Novato Municipal Code Sections 19.24.030 A.1. and A.2., as may be amended from time to time.
3. Fractional Inclusionary Housing Units. When the application of the percentages specified in D.1. above or D.4. below results in a number of affordable housing units that includes a fractional unit, then such a fraction shall be addressed pursuant to the requirements of Novato Municipal Code Section 19.24.030 B., as may be amended from time to time.
4. Building Permit Timing. The following requirements apply to the issuance of building permits for housing units in the Plan Area:
 - (a) Districts SM1 and SM2. The developers of housing projects in Districts SM1 and SM2 shall be permitted to obtain building permits for the first 75 primary dwelling units in each district, 12 of which must be affordable housing units evenly divided between the applicable affordable income categories. Thereafter, the City shall only issue building permits for the remainder of the market rate housing units in whole or part, provided one of the two following requirements are met:
 - i. A building permit(s) has been issued and all applicable fees have been paid to construct the entirety of the affordable housing units required in District SM3; or
 - ii. If Subsection 4.(a)i. above has not been satisfied, then the developers of housing projects in Districts SM1 and/or SM2 can elect to increase the percentage of affordable housing units provided in their respective district to 20% of the total number of primary housing units approved therein. The

affordable housing requirements of Section D shall apply to the additional affordable housing units resulting from this provision.

- (b) District SM3. The City shall only issue building permits for market rate housing units in District SM3 if building permits have been issued and all applicable fees have been paid to construct the entirety of the affordable housing units required in District SM3.
 - (c) The building permit timing requirements above shall be reflected in the phasing component of the affordable housing plan required by subsection D.8. below and incorporated into the affordable housing agreement required by subsection D.9. below.
5. Location. Affordable housing units shall be dispersed throughout a given development in Districts SM1 and SM2. Affordable housing units required in District SM3 may be distributed amongst the market rate housing units in an apartment building(s) or provided in a single apartment building(s) fully reserved for affordable housing units.
6. Affordable Unit Standards. Affordable housing units shall meet the following standards:
- (a) Mix, Size and Number of Bedrooms.
 - i. Affordable housing units in an ownership project shall be proportional in unit mix including but not limited to the number of bedrooms and unit size as the market rate units. The affordable ownership units need not exceed 1,400 square feet and three bedrooms when included in a development of market rate units for ownership that exceed 1,400 square feet and three bedrooms.
 - ii. Affordable housing units in rental projects shall be proportional in unit mix including but not limited to the number of bedrooms and unit size as the market rate units. The affordable rental units need not exceed 900 square feet and two bedrooms when included in a development of market rate rental units that exceed 900 square feet and two bedrooms.
 - (b) Design. Affordable housing units shall be of comparable construction quality and exterior design to the market rate housing units in a development.
7. Equal Access. The residents of affordable housing units shall have equal access to all on-site amenities available to the residents of market rate dwellings.
8. Affordable Housing Plan. Each developer of a housing project in the Plan Area shall prepare and submit an affordable housing plan to the City based on the information

requirements of Novato Municipal Code Section 19.24.100. The affordable housing plan shall be submitted to the City at the time a Design Review application is submitted for housing project as addressed in Section F.2. below.

9. Housing Agreements for Affordable Units. Each developer of a housing project in the Plan Area shall execute an affordable housing agreement with the City pursuant to the requirements of Novato Municipal Code Section 19.24.090, as may be amended from time to time. An affordable housing agreement shall include the terms of eligibility to occupy an affordable housing unit pursuant to Novato Municipal Code Section 19.24.080, as may be amended from time to time, as well as specify the duration of affordability consistent with the requirements of Novato Municipal Code Section 19.24.070 E., as may be amended from time to time.
10. Accessory Dwelling Units and Junior Accessory Dwelling Units. Accessory dwelling units and junior accessory dwelling units are not primary housing units and shall not be accepted to satisfy the affordable housing requirements addressed herein above.

E. Common Open Space/Outdoor Use Areas

1. Required Open Space Areas. The open space areas depicted on Exhibit 2.1a of Exhibit A1 shall be located, designed, and improved based on the minimum requirements of Section 2 of Exhibit A1.
2. Adjustment of Open Space Areas. Open space areas B, C1, C2, C3, D, E1, E2, F1, and F2 are fixed in location, configuration, and size as depicted on Exhibit 2.1a of Exhibit A1. However, areas B, D, E1, E2, F1, and F2 may be adjusted within the boundaries of the flexible open space zone delineated on Exhibit 2.1a, subject to receiving approval of a precise development plan amendment from the Community Development Director or a higher review authority upon referral by the Director, pursuant to NMC Section 19.42.060 H. Such an amendment shall ensure the open space areas depicted on Exhibit 2.1a maintain a continuous, uninterrupted connection with one another and areas C1, C2, and C3, the Loop Road (East Campus Drive), San Marin Drive, and Redwood Boulevard. Accordingly, if a particular open space area is relocated within the flexible open space zone then other connecting open space area(s) in the zone must likewise be adjusted as necessary to maintain a continuous connection.
3. Timing of Design & Construction. The open space areas depicted on Exhibit 2.1a of Exhibit A1 and improvements thereto shall be designed and constructed subject to the following requirements:
 - (a) Open space areas C1, D, and the portions of C2 lying within the boundaries of District SM1 shall be designed and constructed concurrently with the site improvements for the first development project proposed in District SM1.

- (b) Open space area B and the portions of areas C2, E1, F1, and F2 lying within the boundaries of District SM2 shall be designed and constructed concurrently with the site improvements for the first development project proposed in District SM2.
 - (c) Open space areas C3 and E2 and the portions of areas E1, F1, and F2 lying within the boundaries of District SM3 shall be designed and constructed concurrently with the site improvements for the first development project proposed in District SM3.
 - (d) The design of all open space areas and associated improvements shall be subject to Design Review as required by F.3. below.
 - (e) The City shall not grant occupancy to more than 30% of the primary dwelling units in a given development district unless the open space areas located within that district have been fully improved and accepted by the Community Development Director or their designee.
4. Equal Access. The common open space and outdoor use areas and associated amenities detailed in Exhibit 2.1a of Exhibit A1 shall be accessible to and serve all future residents occupying the dwelling units developed in the Plan Area regardless of development district boundaries. Accordingly, a reciprocal access and use easement(s) shall be applied to each open space and outdoor use area depicted on Exhibit 2.1a. Said easement(s) shall allow all residents of the Plan Area to have equal access to and use of these areas. Said easements shall be subject to review and acceptance by the Community Development Director and City Attorney and recorded prior to acceptance of any open space improvements within a given development district.

F. General Requirements

1. New residential development and/or subdivision proposals shall comply with the standards and requirements of this Exhibit and Exhibit A1 attached hereto and incorporated herein by reference, and all other applicable objective requirements of the Novato Municipal Code as specified in Chapter V – Development Standards, Chapter VI – Excavations and Fills, Chapter IX – Land Subdivision, and Chapter XV – Streets and Sidewalks as applicable to a given project proposal.
2. New residential development and/or subdivision proposals shall comply with the mitigation measures of the certified Environmental Impact Report for Novato General Plan 2035 as specified in Novato City Council Resolution No. 2020-068.
3. New development and/or subdivision proposals shall be subject to Design Review pursuant to Novato Municipal Code Section 19.42.030 for the purpose of confirming compliance with the objective standards and requirements specified in this Exhibit, Exhibit A1, and the Novato Municipal Code, as well as the mitigation measures of the certified Environmental

Impact Report prepared for Novato General Plan 2035 as specified in Novato City Council Resolution No. 2020-068.

4. New developments and/or subdivision proposals shall be subject to the requirements of the California Environmental Quality Act (CEQA) as may be applicable.
5. Future modifications to completed residential buildings in the Plan Area shall comply with the standards and requirements of this Exhibit, Exhibit A1, and all other requirements and permit procedures of the Novato Municipal Code as applicable to a given proposal.
6. In the event of any conflict between applicable standards of the Novato Municipal Code and those listed in this Exhibit or Exhibit A1, then the standards of this Exhibit and Exhibit A1 shall control.

G. Development Standards

1. Fences, Walls, and Hedges. All fences, walls, and hedges shall comply with the following:
 - (a) Maximum fence, wall, and hedge height for the lot, dwelling, and setback configurations presented on Exhibit 1.2a of Exhibit B:
 - i. Setback Areas B & E: 3-feet.
 - ii. Setback Area A: 6-feet.
 - iii. Setback Area I to interior boundary of Setback Area E: 6-feet
 - (b) Maximum fence, wall, and hedge height for the lot, dwelling, and setback configurations presented on Exhibit 1.2b of Exhibit B:
 - i. Setback Areas B & E: 3-feet.
 - ii. Setback Area D: 6-feet.
 - iii. Setback Area I to interior boundary of Setback Area G: 6-feet
 - (c) Maximum fence, wall, and hedge height for the lot, dwelling, and setback configurations presented on Exhibit 1.3 of Exhibit B:
 - i. Setback Areas A & B: 3-feet.
 - ii. Setback Area G: 6-feet.
 - iii. Setback Area I to interior boundary of Setback Area G: 6-feet

(d) Maximum fence, wall, and hedge height for the lot, dwelling, and setback configurations presented on Exhibit 1.5a of Exhibit B:

- i. Setback Area B: 3-feet.
- ii. Setback Areas C & F: 3-feet.
- iii. Setback Area J: 3-feet.
- iv. Setback Area D to interior boundary of Setback Area B: 6-feet.
- v. Setback Area I to interior Boundary of Setbacks C & F: 6-feet.

(e) Maximum fence, wall, and hedge height for the lot, dwelling, and setback configurations presented on Exhibit 1.5b of Exhibit B:

- i. Setback Areas A & B: 3-feet.
- ii. Setback Area K: 6-feet.
- iii. Setback Area J: 3-feet.
- iv. Setback Area D to interior boundary of Setback Area B: 6-feet.
- v. Setback Area I to interior Boundary of Setbacks C & F: 6-feet.

(f) Maximum fence, wall, and hedge height for the lot, dwelling, and setback configurations presented on Exhibit 1.6 of Exhibit B:

- i. Setback Area A & B: 3-feet.
- ii. Setback Area C: 3-feet.
- iii. Setback Area H: 3-feet.
- iv. Setback Area K to interior boundary of Setback Areas A & B: 6-feet.
- iv. District SM1 - Setback Area I to interior boundary of Setback Area E: 6-feet.
- v. District SM2 – Setback Area I: 3-feet.

(g) Maximum fence, wall, and hedge height for the lot, building, and setback presented on Exhibit 1.7 of Exhibit B:

- i. All Setback Areas: 3-feet.
- (h) Maximum fence, wall, and hedge height for the lot, building, and setback presented on Exhibit 1.8 of Exhibit B:
 - i. All Setback Areas: 3-feet.
- (i) Maximum fence, wall, and hedge height for the lot, building, and setback presented on Exhibit 1.9 of Exhibit B:
 - i. Setback Areas B, E, J, and I: 3-feet
 - ii. Setback Area K to the interior boundary of Setback Areas A & B: 6-feet.
- 2. Sight Distance. All improvements and landscaping shall be designed to comply with the sight distance requirements of Novato Municipal Code Section 19.20.070 D.
- 3. Wall & Ground Mounted Electrical/Mechanical Equipment. Wall and ground mounted mechanical and electrical equipment (e.g., air conditioning units, heat pumps, water heaters, pool and spa pumps, electrical transformers and meters, backflow prevention valves, fire suppression system valves, etc.) at individual residences and residential buildings shall be screened from view and noise attenuated pursuant to the following requirements:
 - (a) Wall and ground mounted equipment shall not be located at or within any yard area adjoining a street, paseo, or common open space area nor affixed to any street facing façade of any dwelling or residential building unless fully screened from view by fencing located and constructed in accordance with the applicable standards of G.I. above.
 - (b) Mechanical and electrical equipment shall be located and/or sound attenuated pursuant to the requirements of NMC Sections 19.22.040 and 19.22.070.
- 4. Roof Mounted Mechanical Equipment (Districts SM2 and SM3). Roof mounted mechanical and electrical equipment at residential buildings shall be screened from view pursuant to the minimum requirements of Exhibit A1 and noise attenuated in compliance with the provisions of NMC Section 19.22.070.
- 5. Solid Waste & Recyclables Storage.
 - (a) Districts SM 1 and SM2. Each dwelling shall be designed to provide a minimum waste cart storage area of 3-feet deep by 8-feet long (minimum of 24-square feet) to accommodate three (3) carts, representing one (1) cart each for solid, recyclable, and green waste. The required waste cart storage area may be provided within a garage

meeting the minimum parking stall dimensions applicable to the detached single-family residences allowed in District SM1 and SM2 plus the minimum dimensions of the required waste cart storage area. Alternatively, the required waste cart storage area may be located within a setback area provided: i) the storage area is screened from view of any adjoining street, paseo, and/or common open space area by fencing complying with the standards of G.1. above and of a height equal to or greater than a waste cart; and ii) a minimum 4-foot wide unobstructed and paved path of travel is provided from the storage area to the waste-hauler collection location.

- (b) District SM3. Residential buildings and dwelling units in District SM3 shall comply with the following solid waste and recyclable storage requirements:
- i. Common waste bin storage areas shall comply with the space requirements specified in Table 3-3 of NMC Section 19.20.120 based on the number of dwelling units proposed in a given residential development project.
 - ii. Bins shall be provided on the basis of one 3-yard bin for each eight dwelling units.
 - iii. Common waste bin storage areas shall be located in a designated, independent structure with enclosure walls matching the architectural style of a given residential development project as selected from Exhibit A1 or in a dedicated room within a residential building.
 - iv. Common waste bin storage areas shall be located no further than 100 feet from the doorway of each dwelling unit in a multi-family building. A trash chute room(s) connecting to a common waste bin storage room may satisfy this requirement.
 - v. Common waste bin storage areas shall be accessible to pedestrians through a doorway independent of service gates and designed so that bin lids face the pedestrian access location.
 - vi. A street or driveway shall provide unobstructed access for collection vehicles and personnel to the common waste bin storage area pursuant to the following:
 - a. Collection points shall be provided within 150-feet of a through or cul-de-sac street.
 - b. Collection points shall be designed to allow adequate maneuvering room for a truck eight feet in width, 26½ feet in length, an inside turning radius of 25 feet and an outside turning radius of 36 feet.
 - vii. Common waste bin storage areas shall comply with all requirements of the California Building Code.

- viii. Each dwelling unit shall be designed to provide an interior space to store solid waste and recyclable material prior to placement in a common storage bin area. A minimum of 3-cubic feet of space shall be provided for the storage of solid waste and a minimum of 3-cubic feet shall be provided for recyclable material.
6. Art Program. New development shall comply with the requirements of Novato Municipal Code Division 19.21 – Art Program by designing and installing an art piece subject to following subsections of Division 19.21: 19.21.020 – Definitions, 19.21.030 – Applicability, 19.21.050 – Residential Requirements, 19.21.060 D. – Location, and 19.21.060 E. – Timing of Installation, and 19.21.080 – Maintenance and Removal, and Replacement of Works of Art.
7. Exterior Lighting. All exterior light fixtures shall be Dark Sky compliant as certified by the International Dark-Sky Association. All exterior lighting shall have a correlated color temperature (CCT) of 3,000K or lower (up to 3220K actual measured value – ANSI C78.377). Street lighting shall be provided as required by NMC Section 5-43.
8. Required Landscaping. The following areas shall be landscaped with the initial construction of new dwelling units and residential buildings:
- (a) District SM1: All areas not enclosed by a 6-foot tall fence.
 - (b) Districts SM2 and SM3: All areas not covered by buildings or paving.
 - (c) All landscape strips along roadways.
 - (d) Surface parking area landscaping requirements are specified under “Vehicle, Motorcycle, and Bicycle Parking” below.
9. Measurement of Required Landscape Areas. Wherever a landscape area is required to have specific dimensions those dimensions shall be exclusive of curbs, walls, and/or fences.
10. Minimum Dimensions. Landscape areas shall have a minimum interior width of 3-feet. Landscape areas containing trees shall have a minimum interior width of 4-feet.
11. Root Barriers. Trees in landscape planters less than 10-feet in width or located closer than 5-feet from a structure and/or paved surfaces (sidewalks, curbs, street, etc.) shall be installed with root barriers.
12. Height Limits. Landscaping shall be designed to comply with the height limits for sight distance visibility areas specified in NMC Section 19.20.070 D.

13. Safety Requirements. Trees and plants shall be selected and located so that at maturity (full height and spread) they do not obstruct lighting, access to utilities meters and boxes, and bicycle, pedestrian, or motor vehicle ways.
14. Irrigation System. All landscaped areas (except areas to be maintained with intentionally unirrigated native plants) shall be provided with an automatic irrigation system complying with the requirements of North Marin Water District Regulation 15.
15. Plant Materials, Size, and Planting Techniques. Plant selection and planting techniques shall comply with the requirements of North Marin Water District Regulation 15 and the following:
 - (a) Trees shall not be less than a container size of 15-gallons.
 - (b) Shrubs and groundcovers shall not be less than a container size of 1-gallon.
16. Required Number of Trees.
 - (a) District SM1. A minimum of one (1) tree shall be provided in each area required to be landscaped in accordance with item 8(a) above.
 - (b) Districts SM2 & SM3. A minimum of one (1) tree shall be provided for each 600-sq. ft. of area required to be landscaped in accordance with item 8(b) above.
 - (c) Street & Pedestrian Pathway Trees (All Districts). A minimum of one (1) tree shall be provided for each 40-lineal feet of street and/or pedestrian pathway adjoining a dwelling unit or residential building.
17. Shrubs, Groundcover, & Top Dressings. The following standards shall apply to areas required to be landscaped pursuant to item 8 above:
 - (a) Groundcover shall be provided throughout required landscape areas and shall be planted at least 6 inches on center.
 - (b) Artificial groundcover (not including artificial turf) or shrubs shall not be allowed.
 - (c) Crushed rock, bark mulch, pebbles, stone, and similar top dressing materials shall be allowed as groundcover for up to 15 percent of the total area of required to be landscaped in accordance with item 8 above.
18. Landscape Plans. Landscape plans for new development shall be prepared by a licensed landscape architect.

19. Landscape Completion Certification. The landscape architect of record shall certify in writing that all required landscaping and irrigation improvements have been installed pursuant to the landscape plan approved for the development upon the completion of construction of an individual dwelling unit in District SM1 or multi-family residential buildings in Districts SM2 and SM3.
20. Maintenance Contract. A two-year landscape maintenance contract which includes a security (cash deposit or irrevocable bond) in an amount equal to 50 percent of the cost of the landscape contract of a given development shall be posted as a prerequisite to a final building inspection, except for subdivisions with landscaping which is included in the subdivision improvement agreement, in which case a one-year maintenance period is acceptable. The developer may transfer maintenance responsibility to another party, for example, homeowners' association, provided that the security remains posted for the remainder of the originally-required time period.
21. Vehicle, Motorcycle, and Bicycle Parking.
 - (a) Parking to be Unrestricted. Owners, lessees, tenants, or persons having control of the operation of a premises for which parking spaces are provided shall not prevent or restrict authorized persons from using these spaces.
 - (b) Number of Parking Spaces Required. The following minimum number of off-street automobile parking spaces shall be provided unless otherwise directed by State law:
 - i. District SM1: 2 parking stalls for each dwelling unit.
 - ii. District SM2: 2.25 parking stalls for each dwelling unit consisting of two parking stalls in a garage and fractional stalls aggregated and provided as off-street surface parking.
 - iii. District SM3:
 - a. Studio/1 bedroom dwelling – 1 parking space per dwelling unit
 - b. 2 & 3 bedroom dwelling – 1.5 parking spaces per dwelling unit
 - c. 4 and more bedroom dwellings – 2.0 parking spaces per dwelling unit
 - (c) Rounding Rule. If the total number of parking spaces required for a development is other than a whole number, the number of parking spaces shall be rounded up to the next whole number.
 - (d) Parking Configuration. The following parking configurations shall be required unless otherwise directed by State law:

- i. Onsite parking in District SM1 shall be provided in a garage with a side-by-side parking stall configuration.
 - ii. Onsite parking in District SM2 shall be provided via a garage, carport, or uncovered parking stalls arranged in a side-by-side or tandem configuration. Fractional parking stalls shall be aggregated and provided in a surface parking lot.
 - iii. Onsite parking in District SM3 shall be provided in a parking structure (wrap, underground, or podium configuration) and/or surface parking area(s) providing independently accessible parking spaces (no tandem spaces).
- (e) Vehicle Parking Design Standards. Parking areas shall be designed and constructed in compliance with the following standards:
- i. Minimum Parking Space Dimensions.
 - a. District SM1. Each parking space within a garage shall be a minimum of 10-feet wide by 20-feet long.
 - b. District SM2. Each parking space within a garage shall be a minimum of 10-feet wide by 20-feet long for side-by-side parking and 10-feet wide by 40-feet long for tandem parking. Standard (90-degree and diagonal) surface parking stalls shall be a minimum 9-feet wide by 19-feet long. Parallel surface parking stalls shall be a minimum of 8-feet wide by 24-feet long. The width of a surface parking space shall be increased by 1-foot if the space abuts a wall, fence, support column, or other structure.
 - c. District SM3. Standard (90-degree and diagonal) parking spaces in a parking structure or surface parking lot shall be a minimum of 9-feet wide by 19-feet long. Parallel parking stalls shall be a minimum of 8-feet wide by 24-feet long. The width of a parking space shall be increased by 1-foot if the space abuts a wall, fence, support column, or other structure.
 - ii. Concrete Curbing. Continuous concrete curbing at least 6-inches high and 6-inches wide shall be provided along the edge of a parking space adjacent to fences, walls, sidewalks, other structures, and landscaping. Parking spaces adjacent along their length to landscaped areas shall incorporate an additional curbing width of 12-inches (for a total of 18 inches) to provide a place to stand while exiting and entering vehicles. Curbing shall not encroach into the minimum dimensions required of a given parking stall.
 - iii. Vehicle Bumper Overhang. A maximum of 2-feet of the required parking stall depth may be landscaped with low-growth plants in-lieu of paving, thereby allowing a 2-foot bumper overhang while maintaining the required parking dimensions. In the

case where a walkway is necessary in-lieu of landscaping, the walkway shall be widened by 2-feet to provide for a safe curb stop.

- iv. Directional Arrows and Signs. Parking spaces, drive aisles, approach lanes and maneuvering areas shall be clearly marked with directional arrows and lines to ensure the safe and efficient flow of vehicles.
- v. Grade of Parking Areas. Parking areas shall not exceed a grade of five percent, and shall not exceed 10 percent measured in any direction.
- vi. Landscaping. Surface parking areas shall be landscaped in compliance with the following requirements:
 - a. Surface parking areas adjoining a street shall be designed to provide a 5-foot wide landscaped planting strip, exclusive of curbing, between the back of sidewalk or curb/street if no sidewalk exists and the parking area. Trees shall be provided at minimum rate of one tree for each 20-linear feet within this landscape strip.
 - b. Surface parking areas not adjoining a street shall be designed to provide a perimeter landscape strip of at least 5-feet wide, exclusive of curbing, around the perimeter of the parking area. Trees shall be provided at minimum rate of one tree for each 20-linear feet within this landscape strip.
 - c. Minimum Area of Landscaping. A minimum of 5-percent of the total area of a surface parking area shall be landscaped with trees, shrubs, and groundcover of the type, size, and number specified herein above for general landscape areas. The perimeter landscape strips required for a surface parking area by vi. a. and vi. b. above shall not be counted toward satisfying the minimum area of landscaping required herein.
 - d. Required Tree Plantings. Trees shall be provided throughout a surface parking area at a minimum ratio of 1-tree for every 3-parking spaces in a row.
 - e. Landscape Planters. Planters with trees shall have a minimum interior dimension of 4-feet. All ends of parking lanes shall be separated from drive aisles by landscaped islands with a minimum interior (exclusive of required curbing) of 4-feet and extend to the length of the abutting parking stall(s). A landscape finger shall be provided between the side lines of adjacent parking spaces at least every eight parking spaces.
- vii. Lighting. Parking area light fixtures shall be Dark Sky compliant as certified by the International Dark-Sky Association. All exterior lighting shall have a correlated color temperature (CCT) of 3,000K or lower (up to 3220K actual measured value – ANSI C78.377).

- viii. Striping and Identification. Parking spaces shall be clearly outlined with four-inch wide lines painted on the surface of the parking area. Circulation aisles, approach lanes, and turning areas shall be clearly marked with directional arrows and lines to ensure safe traffic movement.
- ix. Surfacing. Parking spaces, drive aisles, and maneuvering areas shall be paved and permanently maintained in compliance with the standards in Novato Municipal Code Subsection 5-17.008.e.
- x. Landscape Maintenance Security. A financial security to guarantee parking lot landscape maintenance shall be provided in compliance with item 20. above.
- xi. Driveways and Aisles.
 - a. District SM1. Each dwelling unit shall have a continuous Portland cement concrete or concrete paver driveway from the street to its garage. Driveways shall have a minimum width of 16-feet.
 - b. District SM2. Each dwelling unit with its own garage shall have a continuous Portland cement concrete or concrete paver driveway from the street to each garage. Driveways shall have a minimum width of 16-feet for side-by-side garage parking configuration and 8-feet for a tandem parking garage. Driveways to a surface parking lot shall have a minimum width corresponding to the drive aisle width specified by item 21. (e)(xi)(d) below.
 - c. District SM3. Surface or structured parking areas shall have a continuous Portland cement concrete or concrete paver driveway from the street to the parking area. Driveways shall have a minimum width corresponding to the required drive aisle width specified by item 21. (e)(xi)(d) below.
 - d. Drive Aisles – Districts SM2 and SM3. Drive aisles to surface and structured parking areas shall be designed and constructed in compliance with the following:

Angle of Parking	Minimum Aisle Width
45 degrees or less	12 Feet
46 to 52 degrees	13 Feet
53 to 55 degrees	14 Feet
56 to 60 degrees	15 Feet
61 to 70 degrees	18 Feet
71 to 80 degrees	22 Feet
81 or more degrees	24 Feet

- e. Clearance from Obstruction. In District SM1 the nearest edge of a driveway

apron, drive aisle, or curb return shall be at least 5-feet from the nearest property line, centerline of a fire hydrant, utility pole, traffic signal, light standard, or other similar facility. In SM2 and SM3 the nearest edge of a drive aisle or curb return shall be at least 5-feet from the nearest property line, centerline of a fire hydrant, utility pole, traffic signal, light standard, or other similar facility.

f. Visibility. Driveways and drive aisles shall be designed and located so to comply with the sight distance requirements of NMC Section 19.20.070 D.

(f) Bicycle Parking & Support Facilities. Bicycle parking shall be provided for new multi-family rental dwelling units in District SM3:

i. Number of Bicycle Spaces Required – Bicycle parking spaces shall be provided in a minimum amount equal to 10-percent of the vehicle parking spaces required for a given project.

ii. Bicycle Parking Equipment. Each bicycle parking space shall include a stationary parking device (e.g., storage rack, floor stand, etc.) to secure bicycles.

iii. Bicycle Parking Layout.

a. Aisles providing access to bicycle parking spaces shall be at least 5-feet in width.

b. Each bicycle space shall be a minimum of 2-feet in width and 6-feet in length, and have a minimum of 7-feet of overhead clearance.

c. Bicycle spaces shall be separated from motor vehicle parking spaces or aisles by a fence, wall, or curb, or by at least 5-feet of open area, marked to prohibit motor vehicle parking.

(g) Motorcycle Parking (District SM3). Parking areas with 50 or more parking spaces shall provide motorcycle parking spaces accessed by the same aisles providing access to the automobile parking spaces in the parking area unless directed otherwise by State law. A minimum of one (1) motorcycle parking space shall be provided for each 50 automobile spaces or fraction thereof. Motorcycle spaces shall have minimum dimensions of 4-feet by 7-feet.

22. Signs - Subdivision or Multi-Family Residential Building Identification.

Allowed Sign Types	Maximum Number	Maximum Sign Area	Maximum Sign Height	Lighting Allowed
Wall or Monument	One of either	32 sq. ft. maximum	Wall signs: below edge of	Indirect only; Dark Sky

Allowed Sign Types	Maximum Number	Maximum Sign Area	Maximum Sign Height	Lighting Allowed
	allowed sign type per entrance or street frontage	each; 64 sq. ft. total for all signs	roof; Monument: 6 ft., must meet applicable sight distance requirements of NMC 19.20.070.	compliant as certified by the International Dark-Sky Association.

773, 775, and 777 SAN MARIN

OBJECTIVE DESIGN STANDARDS

DECEMBER 2023



EXHIBIT A1

The objective design standards for the property provided herein are based on a series of districts as shown in Exhibit 1.1 where the intensity of development is highest adjacent to the SMART station, getting lower towards the west end of the property.

Table 1.1 provides development standards for each district. Graphic diagrams keyed to Table 1.1 are provided for visual reference. Definitions to the following terms are provided in the Appendix of this document: Building Height, Building Front, Projections

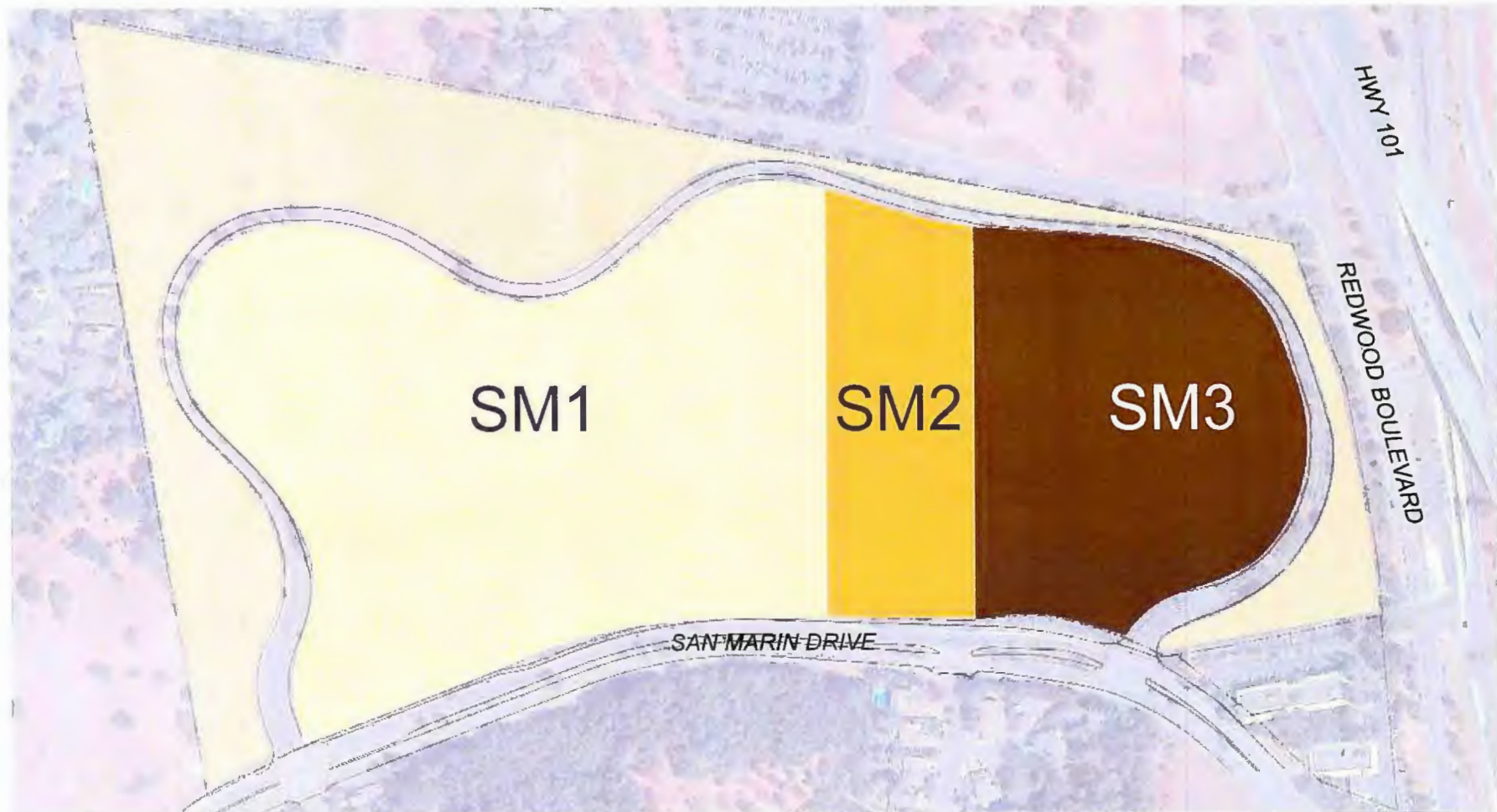


Exhibit 1.1: 773, 775, and 777 San Marin Districts

1 DISTRICTS & DEVELOPMENT STANDARDS

Table 1.1 777 San Marin Districts Standards

EXHIBIT KEY (If applicable)		SM1	SM2	SM3
	Allowable building typologies	Single-family detached; Single-family court	Townhouse, Garden homes	Multi-family Wrap, Multi-family Podium
	Minimum Lot size dimensions	Width: 30 ft; Depth: 50 ft	-	-
	Minimum Lot size SF	2350 sf	-	-
Setbacks¹				
A	Residential Street (Loop Road) from back of PUE	10 ft min	10 ft min ²	10 ft min ³
B	Minor Residential Street back of walk to habitable space; porch may encroach 2ft in SM1 and SM2	10 ft min	10 ft min ³	5 ft min; 8 ft min when PUE included
C	Residential Lane or Alley back of curb to habitable space or porch	7 ft min	5 ft min	8 ft min
D	Rear (on front load homes) to Property line	8 ft min. for buildings up to 22 ft tall; 15 ft min for portions of building over 22 ft.	-	-
E	Garage to street back of walk	18 ft min	5 ft max or 18 ft min	5 ft min
F	Garage to Residential Lane (back of curb)	5 ft min	3 ft min	5 ft min
G	Garage to Residential Alley ³	5 ft max or 18 ft min	5 ft max or 18 ft min	-
H	Between buildings (building front, porches included)	15 ft min if buildings ≤ 2-story; 20 ft min if buildings > 2-story	20 ft min	30 ft min
I	Between buildings (side to side; side to back; side to front)	8 ft min	10 ft min	20 ft min
J	To common open space property line	5 ft min	5 ft min	5 ft min
K	Between building to District property line: 15ft min where SM1 and SM2 face each other and where SM2 and SM3 face each other.			

	SM1	SM2	SM3
Height & Open Space			
Maximum building height ⁴	30 ft ⁵	40ft	65 ft
Residential Open Space ⁶	150 sf/du		
Allowable Street Types			
See Chapter 3: Circulation for detailed information on the street types.	<ul style="list-style-type: none"> Residential Street (Loop Road) Minor Residential Street Residential Alley Residential Lane 		<ul style="list-style-type: none"> Residential Street (Loop Road) Minor Residential Street Residential Lane

1 Projections into setbacks are allowed per below:

Projecting Feature	Allowed Horizontal Projections
Upper floor bay windows not exceeding 10 ft in width. Maximum of two bay windows on any elevation in SM1 separated by a min of 6 ft.	2 ft
Chimney/Fireplace, not exceeding 6 ft in width	2 ft
Canopy, cornice, eave, roof overhang, and similar architectural projections.	2 ft, unless stipulated for selected for selected architectural style.

2. Where buildings are taller than 30 ft, the minimum setback may be reduced to 8 ft to meet the IFC Appendix D Fire Aerial Apparatus maximum setback requirement of 30 ft, where needed.

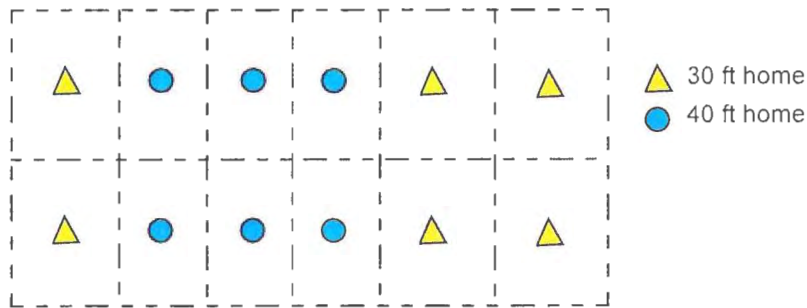
3. To avoid the potential conflict of parked vehicles in drive aisles, a minimum and maximum drive apron is prescribed. The 5ft maximum signals the drive apron is for ingress/egress and is not deep enough to park a vehicle in any direction an 18 ft minimum allows for a standard vehicle to park without encroaching into the drive aisle.

4. Building height is defined as the vertical measurement from the finished grade at the base of the structure to highest point of roof or perimeter parapet if a flat roof structure. Townhouse, Garden, Wrap, and Podium buildings are allowed projections up to 10ft above the maximum. Projections include: Stair towers, Elevator overruns, chimneys. Mechanical equipment screening are allowed to be 5ft above the maximum.

Footnotes continue on page 1-4.

DISTRICTS & DEVELOPMENT STANDARDS

5. Up to 30% of homes in a given development in SM1 are allowed to be up to 40 ft and shall not be sited as a zero lot line residence, with no more than three homes in a row situated together. Additionally no more than 6 homes over 30 ft shall be grouped together where such units share a common property line.



6 Residential Open Space for SM1 shall have a minimum dimension of six feet and may occur on the ground, deck, balcony, and for SM2 and SM3 is defined per NMC 19.34.124B.2 with the following standards.

- a. The minimum open space area required by this Section shall have no other primary use.
- b. At least one-half of the required open space shall be immediately available to and private for the occupants of each dwelling unit, while the remainder may be combined in common areas available to other residents of the project, within the same district.
- c. The open space area may include a deck or balcony having no dimension less than six feet.
- d. Front yard setbacks may be used only as common open space areas, except for allowable deck projections.

Note: All graphic diagrams are not to scale and for illustrative purposes only

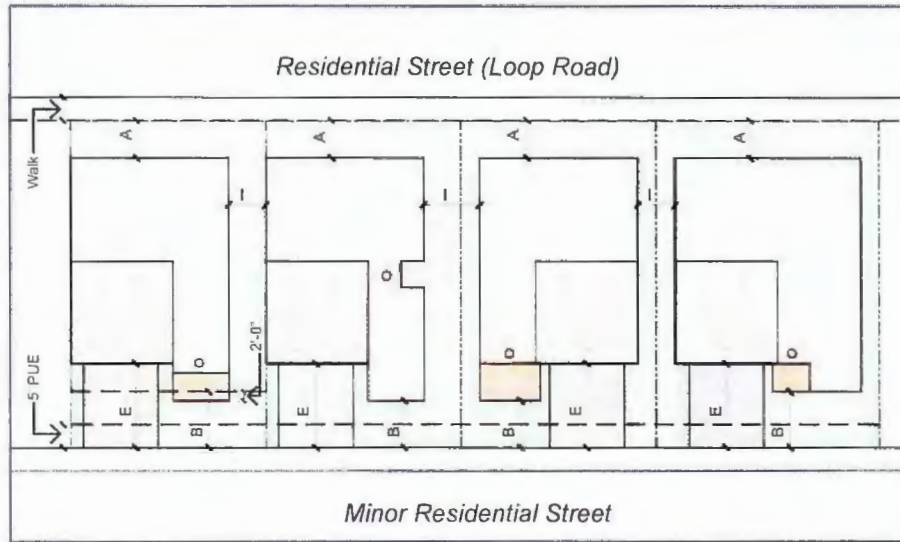


Exhibit 1.2a: SM1 setbacks diagram with Single Family residential homes with garage access via a street and Residential Street (Loop Road) on one side

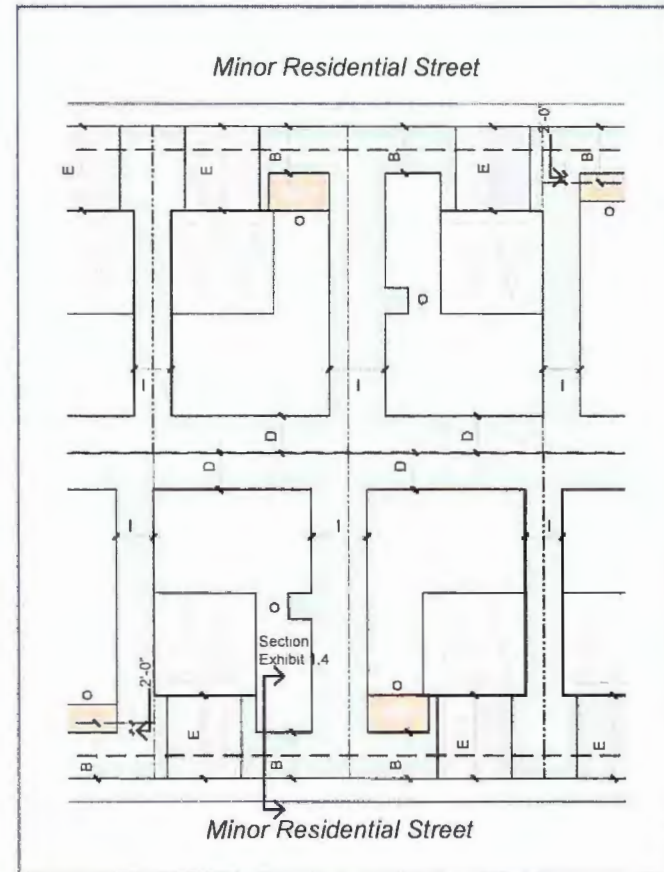


Exhibit 1.2b: SM1 setbacks diagram with Single Family residential homes with garage access via a street

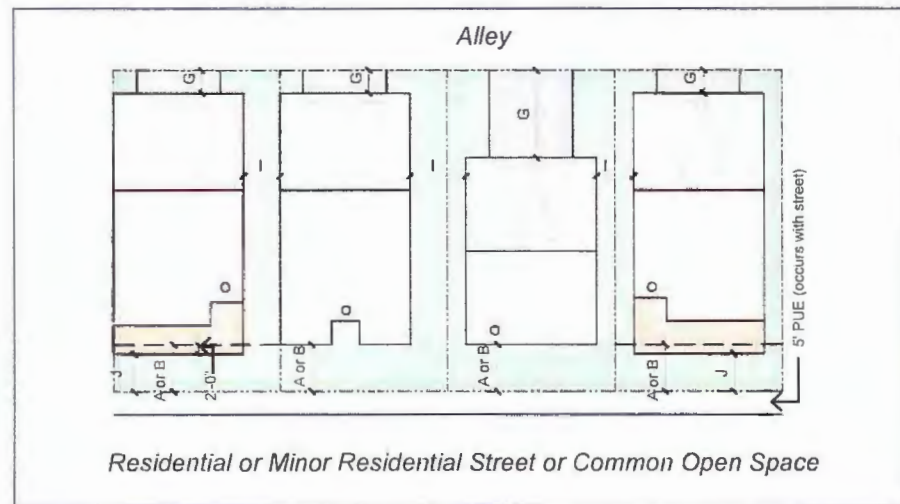


Exhibit 1.3: SM1 setbacks diagram with Single Family residential homes with garage access via an alley

Diagram Key

- Entry Location
- Porch
- Building
- ▲ Vehicle Parking

DISTRICTS & DEVELOPMENT STANDARDS

Note: All graphic diagrams are not to scale and for illustrative purposes only

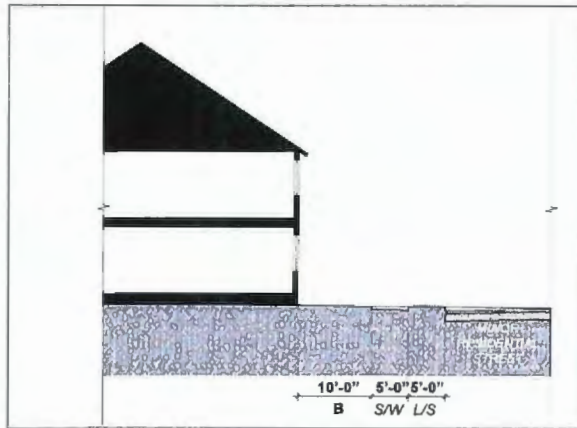


Diagram Key

- Entry Location
- ▭ Porch
- ▭ Building
- ▭ Vehicle Parking

Exhibit 1.4: SM1 setbacks typical section diagram

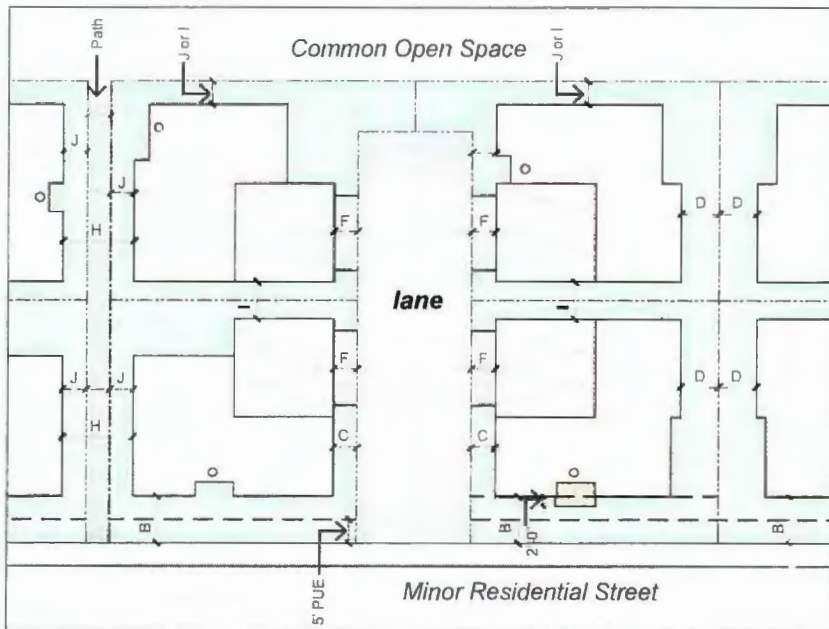


Exhibit 1.5a: SM1 setbacks diagram with Single Family residential court homes with garage access via a lane next to common open space

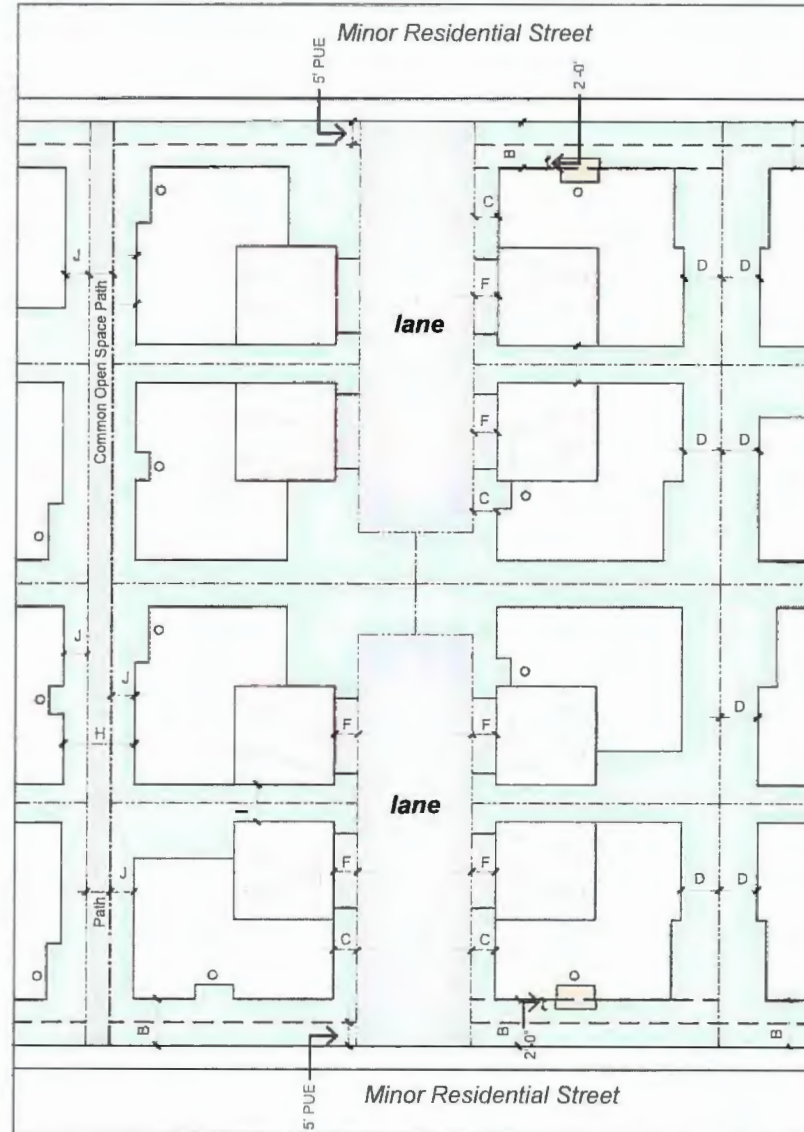


Exhibit 1.5b: SM1 setbacks diagram with Single Family residential court homes with garage access via a lane

Note: All graphic diagrams are not to scale and for illustrative purposes only

Diagram Key

- Entry Location
- Porch
- Building
- ⊞ Vehicle Parking

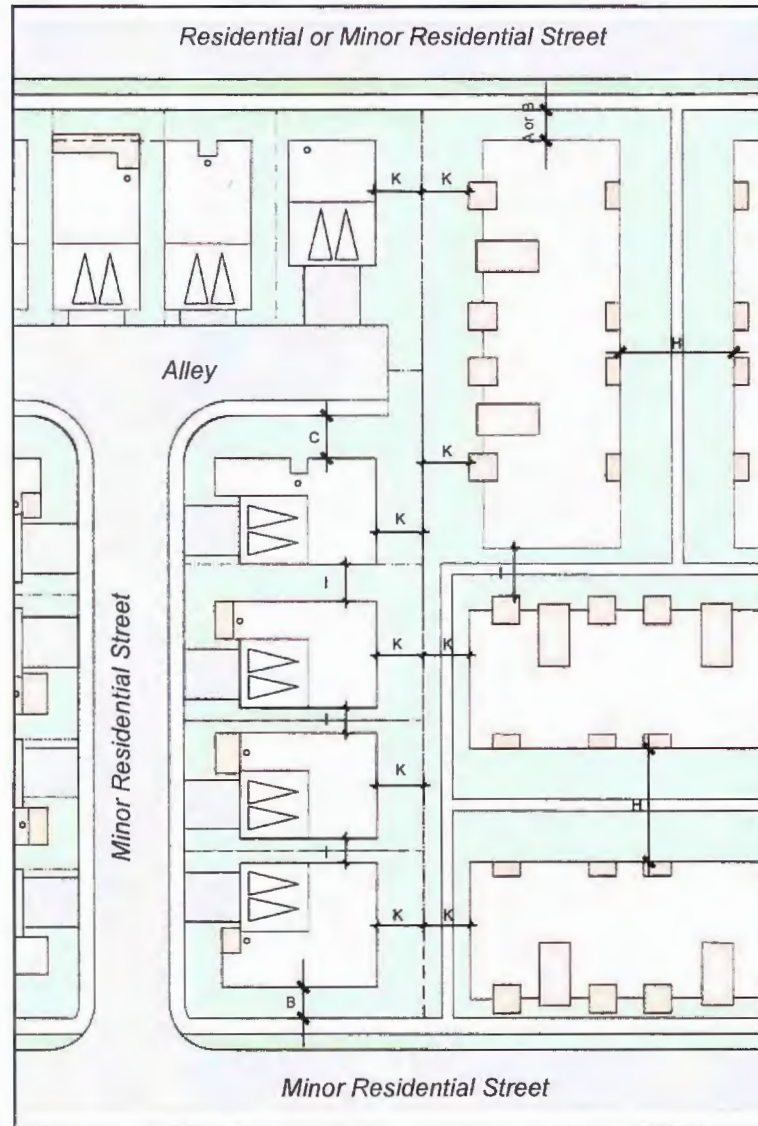


Exhibit 1.6: Setback diagram showing setback K: SM1 next to SM2 condition

Note: All graphic diagrams are not to scale and for illustrative purposes only

Diagram Key

- Entry Location
- Porch
- ▭ Building
- ⌂ Vehicle Parking

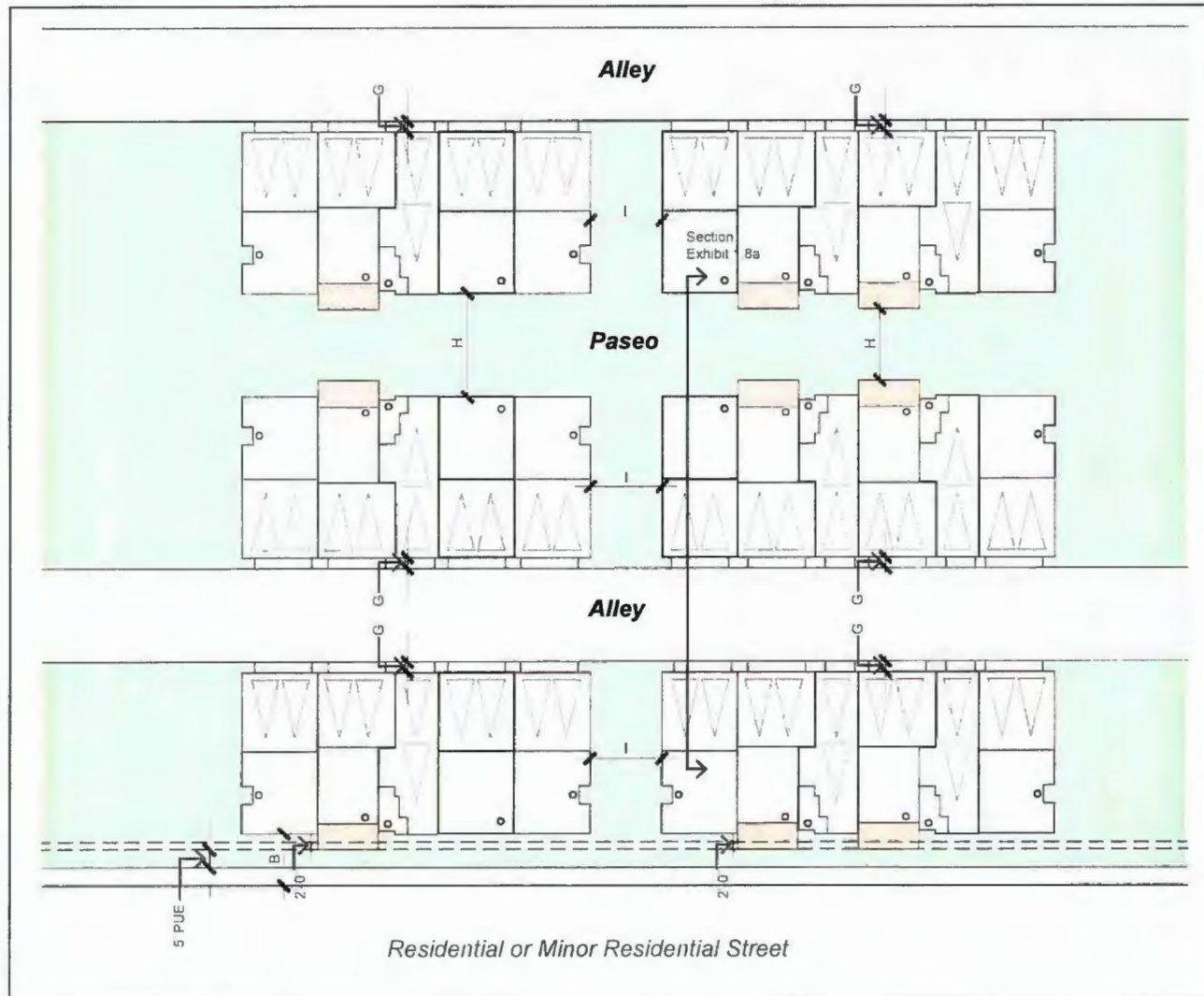


Exhibit 1.7: SM2 setbacks diagram with Townhouses with garage access via an alley

Note: All graphic diagrams are not to scale and for illustrative purposes only

Diagram Key

- Entry Location
- Porch
- ▭ Building
- △ Vehicle Parking

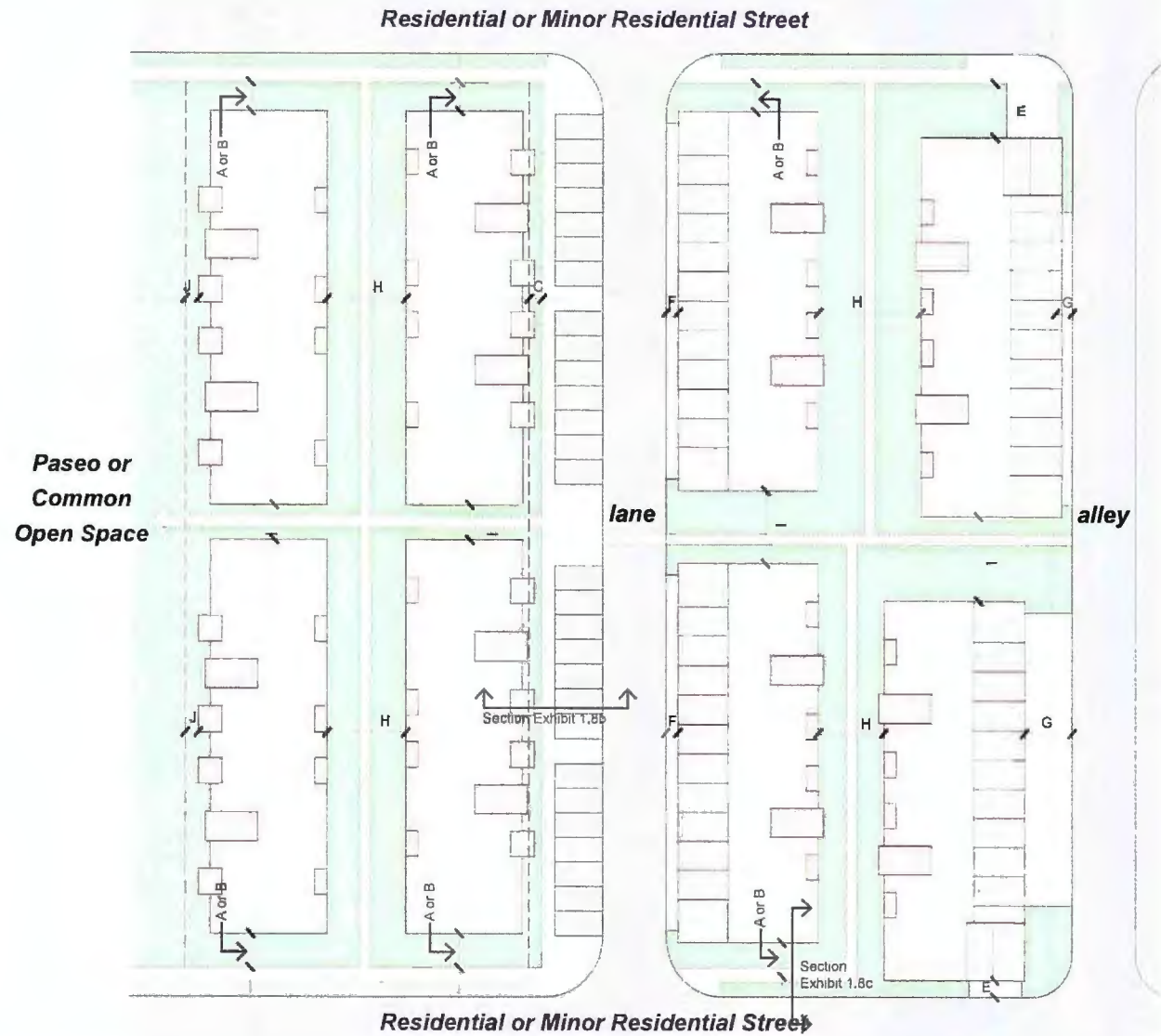


Exhibit 1.8: SM2 setbacks diagram with Garden style residential buildings with surface on-grade parking and/or lane and/or alley access garages

Note: All graphic diagrams are not to scale and for illustrative purposes only

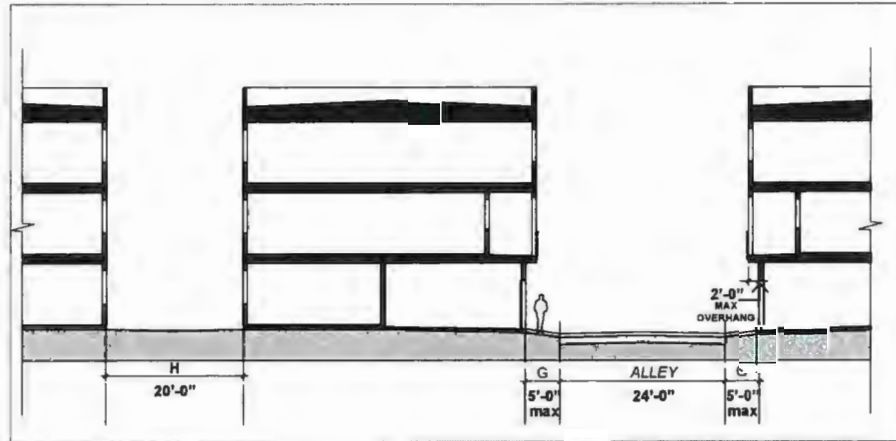


Exhibit 1.8a: SM2 setbacks typical Townhouses section diagram

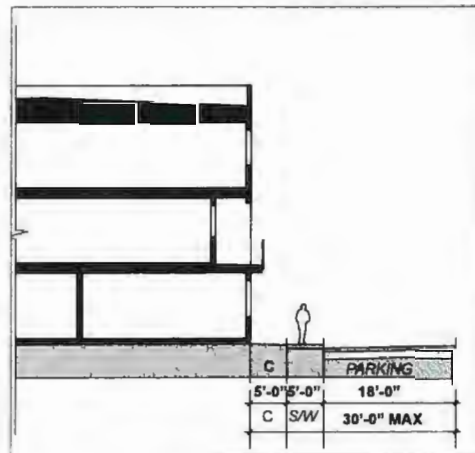


Exhibit 1.8b: SM2 setbacks typical Garden style residential section diagram

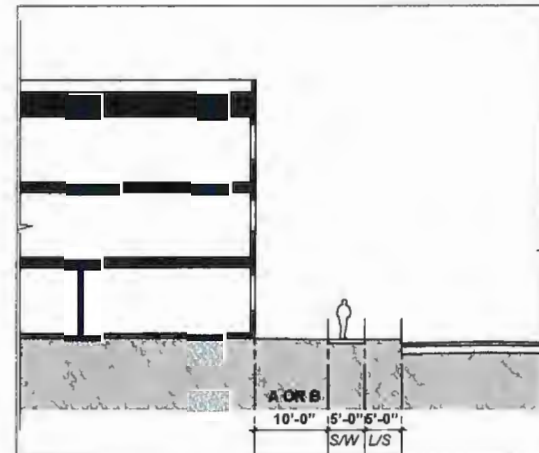


Exhibit 1.8c: SM2 setbacks typical Garden style residential section diagram

"Per International Fire Code Appendix D, a 15' min. to 30' max. setback from edge of the access rout is required for Fire Aerial Apparatus access to buildings where the distance from grade to the highest roof surface exceeds 30 feet."

Note: All graphic diagrams are not to scale and for illustrative purposes only

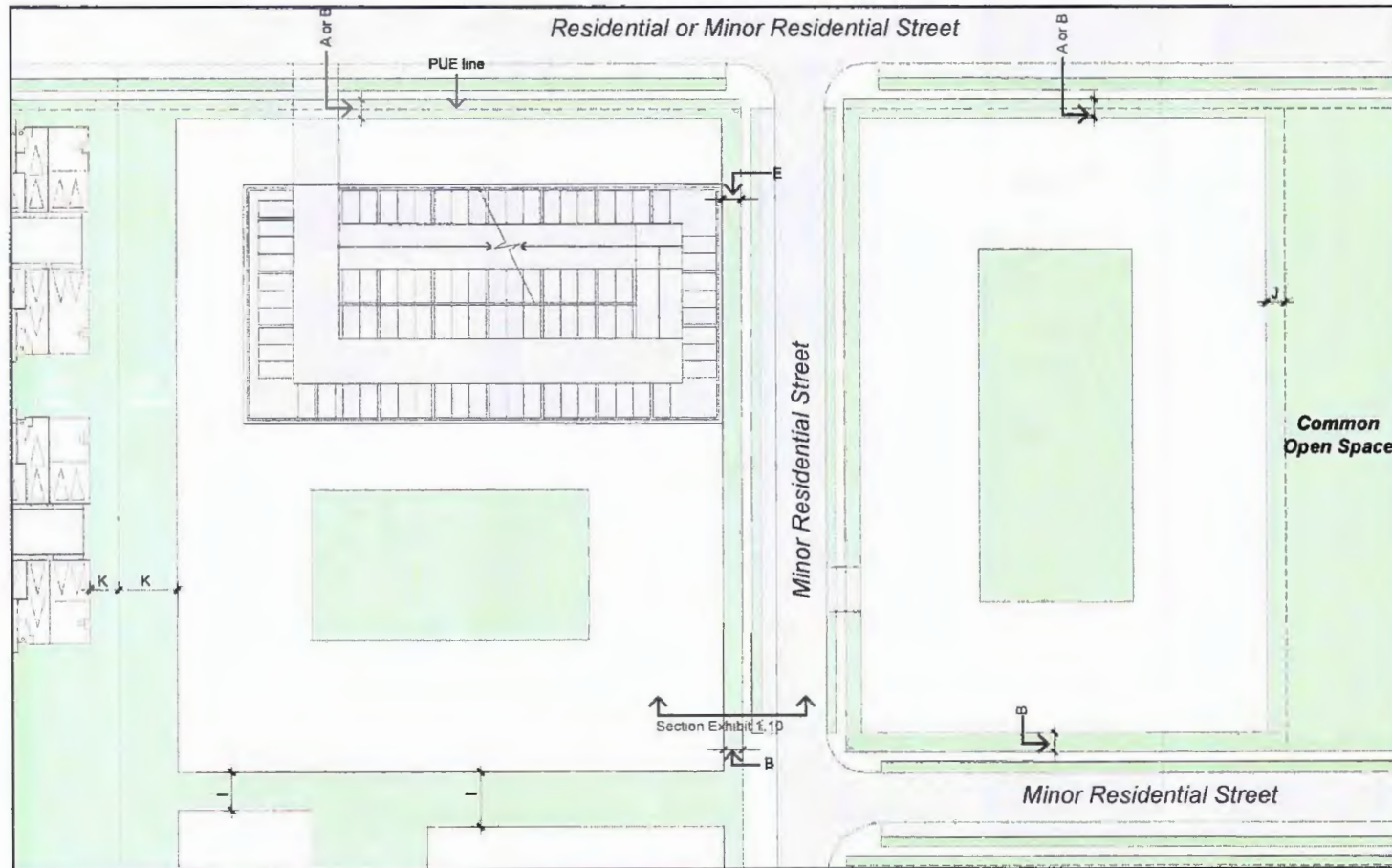


Exhibit 1.9: SM3 setbacks diagram with Wrap and Podium type residential buildings with structured garages.

Diagram Key

- Entry Location
- ▭ Porch
- ▭ Building
- △ Vehicle Parking

Note: All graphic diagrams are not to scale and for illustrative purposes only

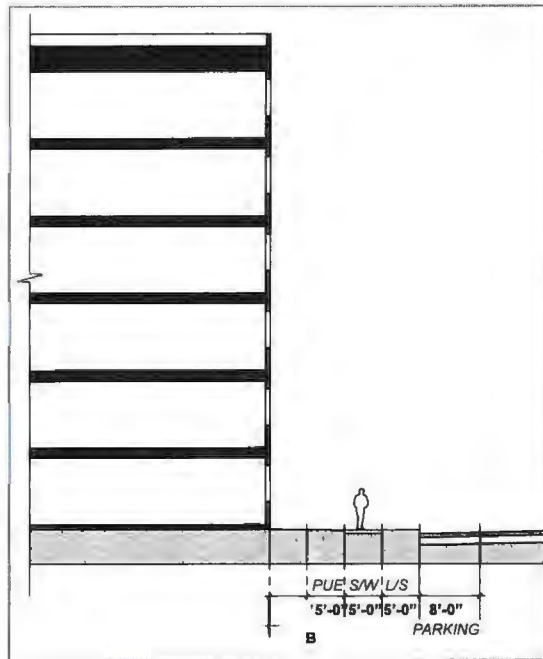


Exhibit 1.10: SM3 setbacks typical Multi-family attached with structured parking section diagram

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2.1 Introduction

777 San Marin has a unique opportunity to develop a variety of open space amenities for existing and future residents as well as visitors to Novato.

In addition to the approximately 16 acres of existing natural open space (or around 700,000 square feet), the project will offer at minimum approximately six acres (or 270,000 square feet) of new common open space areas.

These areas shall be developed per the objective standards described in Table 2.1—such as location, minimum dimensions, and minimum amenities—and will additionally follow the City of Novato’s general planting and landscape standards.

Example plan diagrams in Exhibit 2.1a and 2.1b, show how these standards allow for the creative flexibility to develop a highly livable and organized open space system. As demonstrated in Exhibit 2.1b, greenways may be developed within a flexible open space zone.

Overview descriptions of these open space areas are provided in section 2.2.

Illustrative conceptual sections of open space pathway and dual street design options and gateway crossing are included after the descriptions.

Example imagery of parkway/gateway crossings, and open space amenities are provided at the end of this chapter.

2.2 Open Space Areas Overview

- The **Natural Open Space (A)** will be retained with its current connected habitat of mixed native oak woodlands, creeks and riparian vegetation, and wetlands. The area will be improved by developing, rebuilding, and retaining trails, bridges, and minimal amenities (i.e. overlooks, benches/seating, and picnic areas). The Partridge Knolls trail will be maintained with connection points. The area will be maintained with light maintenance practices to sustain habitat and address wildfire safety through vegetation maintenance (i.e. removal of overgrown or dead vegetation).
- The **Central Green (B)** will provide a central gathering point for the community with flexible programming opportunities. This large, flat, open, and

accessible central area will be framed by a landscape of ground cover, shrubs, and trees at the periphery.

- The **Western Gateway (C1)** will provide open space areas and amenities in the western portion of the community. This generally open and accessible area will provide community open space and amenities and be framed by a landscape of ground cover, shrubs, and trees at the periphery. Healthy existing trees in the area along San Marin Drive to remain as feasible.
- The **San Marin Drive Gateway (C2)** will provide open space areas and amenities on community’s southern edge along San Marin Drive. The landscape will include an existing mixed woodland—with trees such as California sycamores, Redwoods, Acacias, and Oaks—interspersed with a new landscape of ground cover, shrubs, and trees framing open space amenities. Healthy existing trees to remain as feasible.
- The **Campus Drive Gateway (C3)** will provide accessible open space areas and amenities in the primary interior entrance area to the community and be framed by a landscape of ground cover, shrubs, and trees at the periphery.

OPEN SPACE & LANDSCAPE

- The **Primary Greenway (D1)** will provide the primary, centralized passageway traversing the central core of the community and be framed by a landscape of ground cover, shrubs, and trees on both sides. The Primary Greenway will be connected across the Central Green to Street Secondary Greenway (F2).
- The **Secondary Greenway (E1 & E2)** is a greenway connecting residential areas and will link the Central Green to the Redwood Boulevard street crossing to the existing SMART train station. A southern branch connects to the bus stop on San Marin Drive. This greenway will be framed by landscape of ground cover, shrubs, and trees on both sides.
- The **Street Secondary Greenway (F1 & F2)** creates a continuation of a protected, designated pathway for pedestrians and bicyclists. These north-south and east-west connections will be located parallel to interior streets and be framed by a landscape of ground cover, shrubs, and trees to the extent possible.

The Flexible Open Space Zone (Exhibit 2.1b) defines the maximum area that the various open space areas (B, D, E1, E2, F1, and F2) can shift.

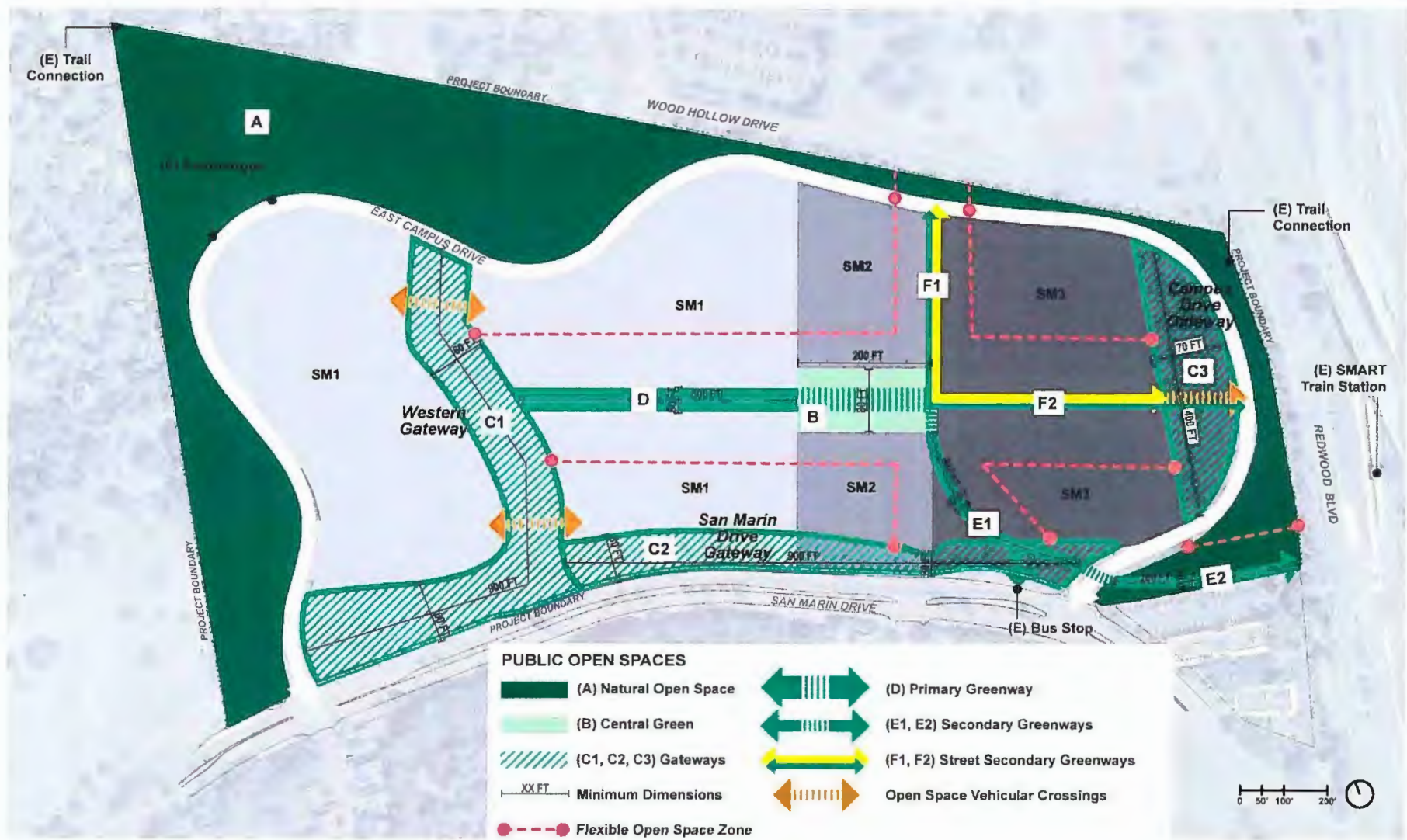


Exhibit 2.1a: San Marin Open Space Areas

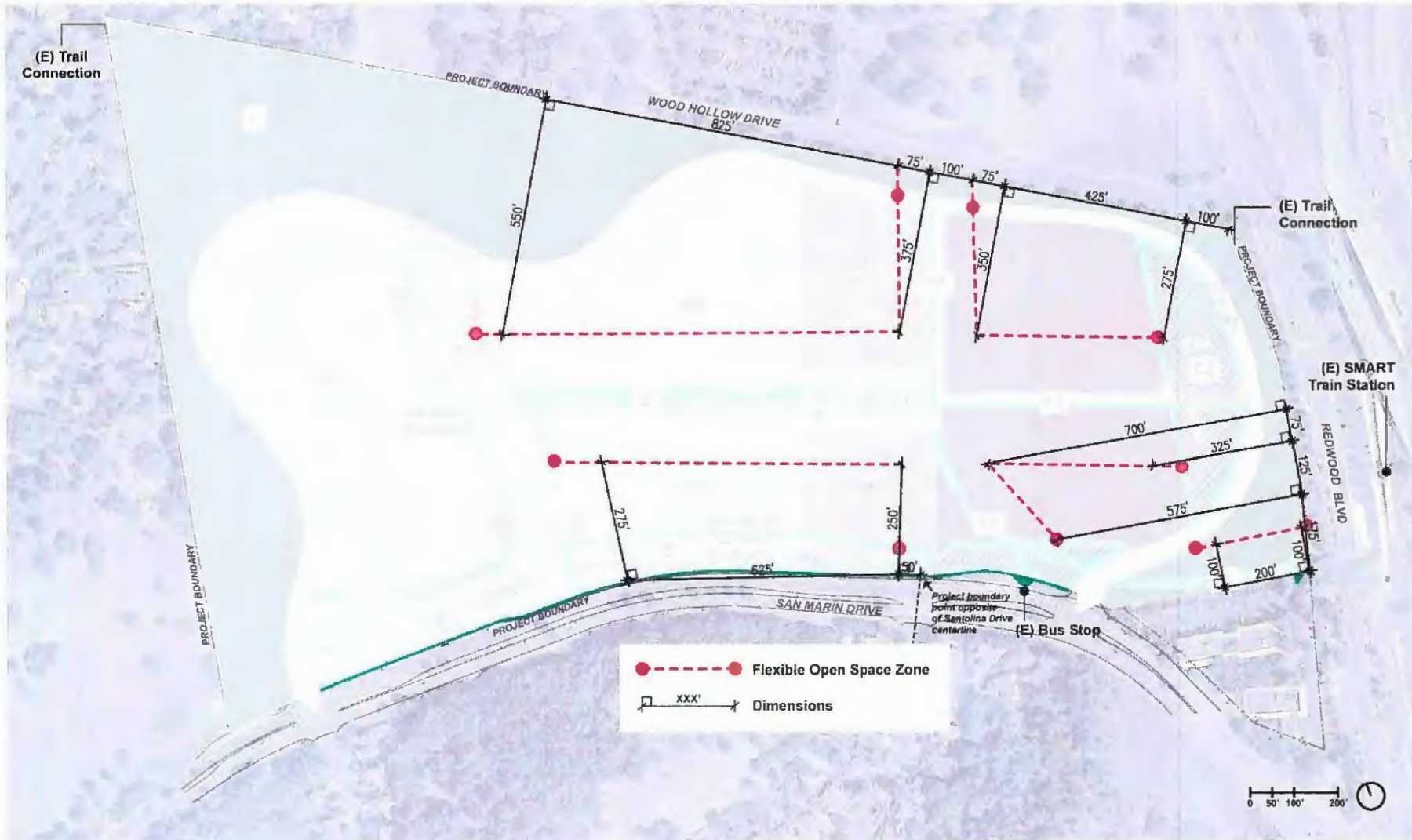


Exhibit 2.1b: San Marin Open Space Areas - Flexible Open Space Zones Dimensions

Table 2.1 San Marin Open Space Areas Standards

Open Space Area	Type	Location & Connections	Minimum Area	Minimum Width	Minimum Length	Minimum Pathways	Minimum Pathway Access Points	Minimum Pathway Width	Minimum Amenities	Vehicular Crossings & Uses	Additional Notes
A	Natural Open Space	Buffer area between the outside perimeter of East Campus Drive and the project boundary	700,000 SF	Varies	Varies	1 (Maintain Partridge Knolls Trail)	3	6 Feet	N/A	Not allowed	Minimum area does not contribute to open space area requirements-
B	Central Green	Within SM2 and SM3 districts; connects to Primary Greenway (D1 & D2) and Secondary Greenway (E1); see Flexible Open Space Zone Exhibit	30,000 SF	80 Feet (north-south)	200 Feet (east-west)	1 (same pathway as Primary Greenway D1 & D2)	4	8 Feet	Central lawn or plaza area (20,000 SF minimum); (1) Tier 1 Amenity; (2) Tier 2 Amenities	Not allowed	Central Green minimum area requirement includes areas for Primary (D) and Secondary Greenway (E1) connections; Primary and Secondary Greenway connections shall follow their respective minimum pathway dimension requirements
C1	Western Greenway	Within SM1 district; located along fixed centerline of existing utility pipeline with minimum 30 feet setback; aligns along southwest and furthest north edge to East Campus Drive; connects along east edge to the Primary Greenway (D1) and the San Marin Drive Gateway (C2); aligns along south edge to San Marin Drive	90,000 SF	60 Feet	900 Feet (from north edge to southwest edge at intersection of San Marin Drive and East Campus Drive) southwest edge at intersection of San Marin Drive and East Campus Drive)	1	5	8 Feet	(1) Tier 1 Amenity; (2) Tier 2 Amenities	2 east-west crossings allowed; ensure safe, accessible, and clearly marked roadway crossings	Western Gateway minimum area, width, and length requirements does not include areas for vehicular crossings
C2	San Marin Drive Gateway	Within SM1, SM2, and SM3 districts; connects along west edge to Western Gateway (C1); north edge located south of on-site roadway; east edge aligns with East Campus Drive; south edge aligns to San Marin Drive; Secondary Greenway (E1) may pass through	75,000 SF	30 Feet (north-south)	900 Feet (east-west)	1	4	8 Feet	(1) Tier 1 Amenity; (2) Tier 2 Amenities	Not allowed	San Marin Drive Gateway minimum area requirement does not include area for Secondary Greenway connection

Table 2.1 San Marin Open Space Areas Standards Continued

Open Space Area	Type	Location & Connections	Minimum Area	Minimum Width	Minimum Length	Minimum Pathways	Minimum Pathway Access Points	Minimum Pathway Width	Minimum Amenities	Vehicular Crossings & Uses	Additional Notes
C3	Campus Drive Gateway	Within SM3 district; located along fixed PG&E gas transmission line easement area; connects at west edge to the Primary Greenway (D2); aligns along east edge to East Campus Drive	30,000 SF	70 Feet (east-west)	350 Feet (north-south)	1	2	8 Feet	(1) Tier 1 Amenity; (2) Tier 2 Amenities	1 east-west crossing; ensure safe, accessible, and clearly marked roadway crossings	Area includes easement for an underground PG&E gas transmission line; any open space amenities or design features will follow applicable restrictions; minimum area, width, and length requirements does not include area for a vehicular crossing
D	Primary Greenway (East)	Within SM1 district; connects at west edge to the Western Gateway (C1) and at the east edge to the Central Green (B); general location flexible (see Flexible Open Space Zone Exhibit)	30,000 SF	60 Feet (north-south)	500 Feet (east-west)	1	2	8 Feet	(1) Tier 1 Amenity; (1) Tier 2 Amenity	Not allowed	If minimum dimensions are achieved, greenway can be split
E1	Secondary Greenway (North)	Located between SM2 and SM3 districts or entirely within SM3 district; terminating at the north end at the Central Green and connecting to the Primary Greenway and the Secondary Greenway/ Street (F1/F2); general location flexible (see Flexible Open Space Zone Exhibit)	9,000 SF	30 Feet	300 Feet	1	4	8 Feet	(1) Tier 1 Amenity; (1) Tier 2 Amenity	Not allowed	Minimum area and width requirements does not include connection across Central Green; does include connection across San Marin Gateway
E2	Secondary Greenway (South)	Along the southeast edge of the Natural Open Space Area; terminates at west end at the East Campus Drive street crossing; terminates at the east end at the project boundary's Redwood Boulevard street crossing to the existing SMART train station; general location flexible (see Flexible Open Space Zone Exhibit)	6,000 SF	30 Feet	200 Feet	1	2	8 Feet	(1) Tier 2 Amenity	Not allowed	

Table 2.1 San Marin Open Space Areas Standards Continued

Open Space Area	Type	Location & Connections	Minimum Area	Minimum Width	Minimum Length	Minimum Pathways	Minimum Pathway Access Points	Minimum Pathway Width	Minimum Amenities	Vehicular Crossings & Uses	Additional Notes
F1	Street Secondary Greenway (N-S)	Located between SM2 and SM3 districts; terminates at the north end at a connection to the Natural Open Space; terminates at south end at connection to the Central Green and F2 Secondary Greenway/ Street				1	2	8 Feet	N/A	N/A	Area does not contribute to overall common open space area calculation; included here to demonstrate open space system and connections
F2	Street Secondary Greenway (E-W)	Located in SM3 districts; terminates at the west end at a connection to the Central Green; terminates at east end at East Campus Drive				1	2	8 Feet	N/A	N/A	Area does not contribute to overall common open space area calculation; included here to demonstrate open space system and connections

The minimum required open space amenity per open space area is prescribed in table 2.2 To ensure a variety of open space amenities is provided through the property, no more than one of the same amenity type from Tier 1 and three of the same amenity type from Tier 2 is allowed in the overall project. For example, if area C3 comes before area E and proposes Tier 1 amenity of a dog park and Tier 2 amenities of Picnic Area, BBQ, Public Art, then area E cannot chose the dog park as the project has met the maximum allowed of that amenity.

Table 2.2 San Marin Open Space Areas Amenities Standards

Category	Type	Description	Minimum Area	Minimum Dimensions (if applicable)
Tier 1 Amenity	Central Lawn or Plaza Area	Lawn or plaza area to serve as a centrally-located community-wide gathering area; designated for the Area B/Central Green	20,000 SF	
	Community Garden/Urban Farm	Area with communal or individual areas to grow fruits, vegetables, and flowers; likely to include small supportive structures and areas, such as sheds, greenhouses, work stations, or seating/shade areas; area may either be operated by residents or paid staff.	3,000 SF	
	Dog Exercise Area	Area specifically designated and designed for dog exercise, socialization, and play; areas for small and large dogs should be separated.	5,000 SF	
	Exercise Station	Outdoor area with equipment for physical exercise, movement, and training (i.e. pull-up bars, balance beams, sit up bench, etc.); station could be aggregated into one area or dispersed along a path or track.	2,500 SF	
	Pollinator Garden	Garden area with plant species specifically selected for the purpose of providing nectar or pollen for pollinating birds and insects.	3,000 SF	
	Playground	Area including safe and engaging play equipment, which is easily accessible from nearby homes; should be designed for a specific age group (i.e. pre-school age or school age).	2,500 SF	
	Small Seating & Stage Area	Area with a designated seating area facing a stage area; designed to accommodate 25-50 people.	2,500 SF	
	Small Sports Court: Badminton Court	Two (2) or more courts for badminton games	3,240 SF	30 x 54 feet (includes sidelines) per court
	Small Sports Court: Basketball Court	One (1) or more courts for basketball games	5,040 SF	50 x 84 feet (with 3 feet of sidelines all around) per court; aligns with minimum high school court dimensions
	Small Sports Court: Bocce Court	Two (2) or more courts for bocce games	4,600 SF	13 x 90 feet (with 5 feet of sidelines all around) per court
	Small Sports Court: Croquet Court	One (1) or more courts for croquet games	3,375 SF	45 x 75 feet per court
	Small Sports Court: Horseshoe Court	Two (2) or more courts for horseshoe games	2,800 SF	20 x 70 feet (includes sidelines) per court
	Small Sports Court: Paddle Tennis Court	One (1) or more courts for paddle tennis games	2,960 SF	37 x 80 feet (includes sidelines) per court
	Small Sports Court: Pickleball Court	Two (2) or more courts for pickleball games	3,600 SF	30 x 60 feet (includes sidelines) per court
	Small Sports Court: Shuffleboard Court	Three (3) or more courts for shuffleboard games	1,640 SF	10 x 52 feet (includes sidelines) per court, including 4 feet between courts
Small Sports Court: Tennis Court	One (1) or more courts for tennis games	7,200 SF	60 x 120 feet (includes sidelines) per court	
Small Sports Court: Volleyball Court	One (1) or more courts for volleyball games; paved or sand surface	3,024 SF	42 x 72 feet (includes sidelines) per court	

Table 2.2 San Marin Open Space Areas Amenities Standards

Category	Type	Description	Minimum Area	Minimum Dimensions (if applicable)
Tier 2 Amenity	BBQ Area	Area with grills, tables, and seating for BBQs	2,000 SF	
	Fire Pit & Seating Area	Central fire pit surrounded by seating areas and landscaping	1,000 SF	
	Picnic Area	Designated location with picnic tables and areas for ground picnicking	2,000 SF	
	Seating Area	Area with movable or permanent seating	2,000 SF	
	Small Plaza/Courtyard	Small paved area for community gathering	3,000 SF	
	Water Feature	Water feature with surrounding plaza area	1,000 SF	

Notes:

- 1. Proposed open space amenities not listed above, but with similar objectives, can be interchanged with approval by the City of Novato
- 2. Multiple small sports courts can be combined if equal or greater than the largest Tier 1 Amenity, excluding the Central Green (i.e. 5,000 SF minimum area)

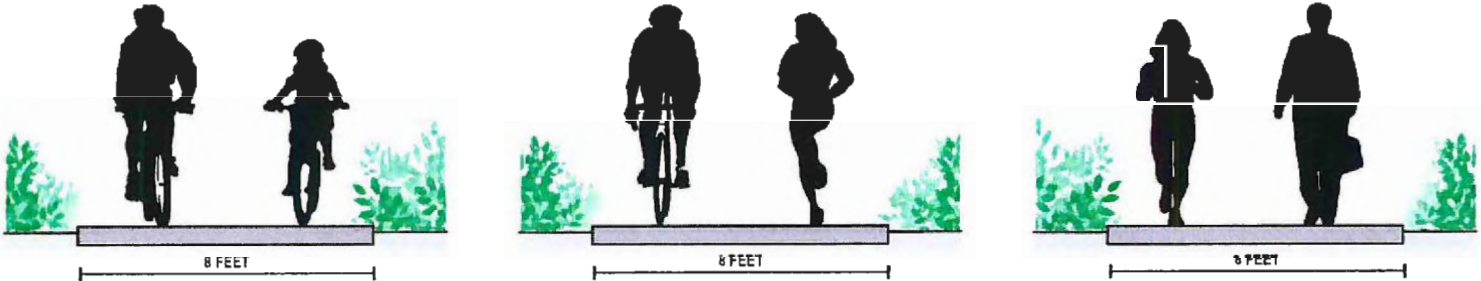


Exhibit 2.2: Open Space 8' Pathway Sections Show Multi-Use Potential

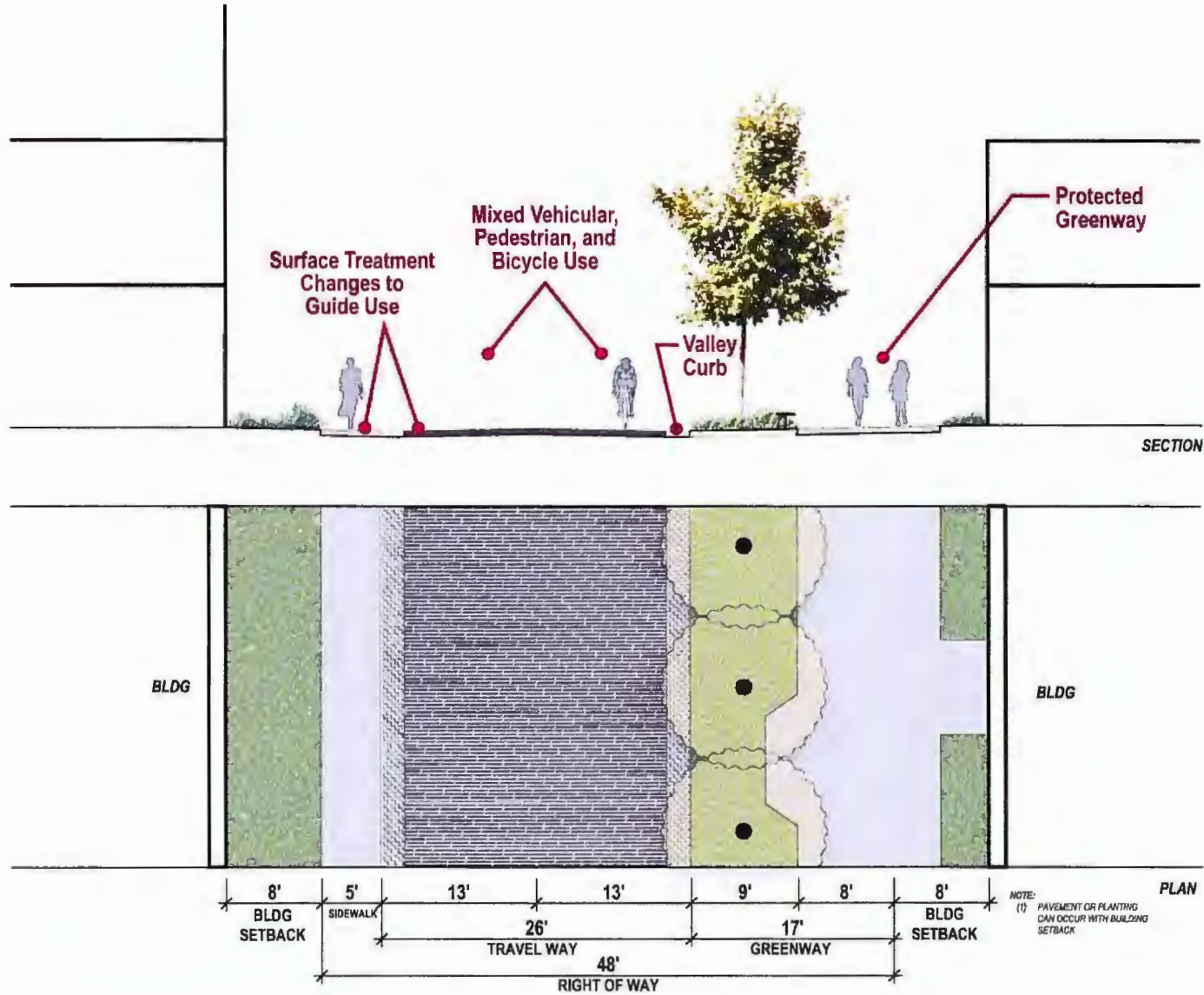
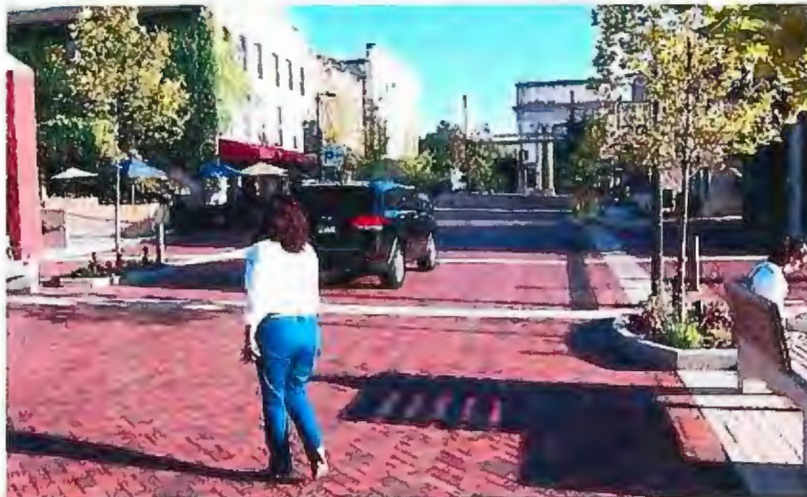
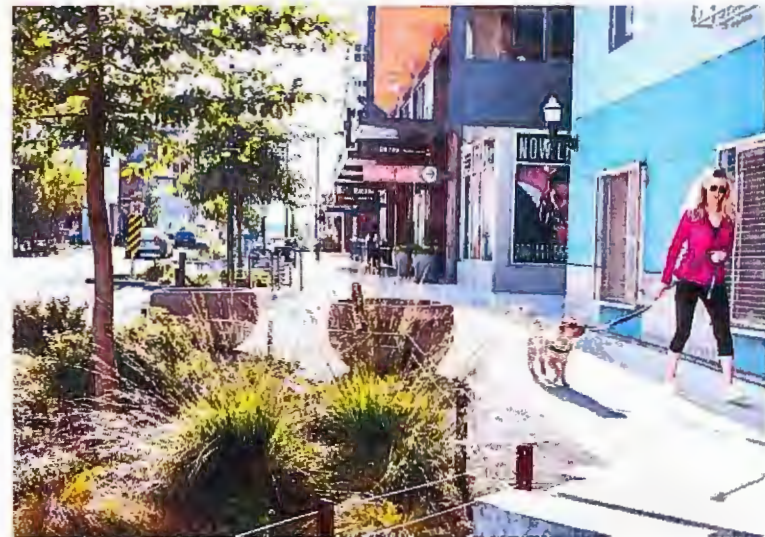
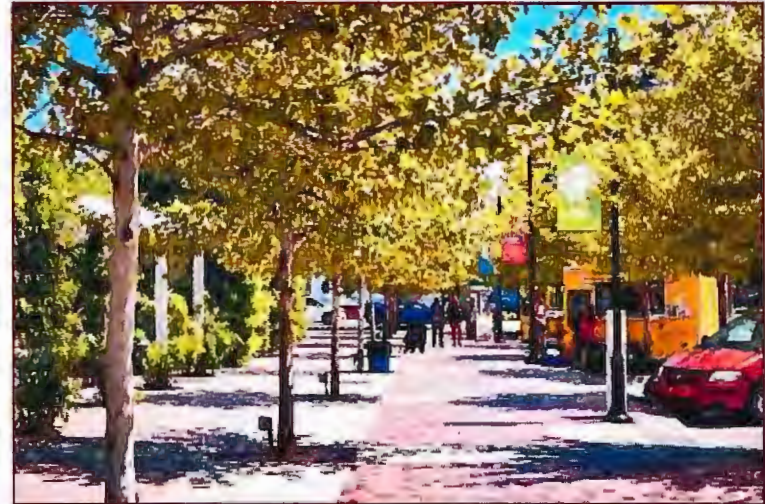


Exhibit 2.3: Example section of a Dual Street design for with protected greenway on one side.

Street Secondary Greenway Examples



Street Secondary Greenway Examples



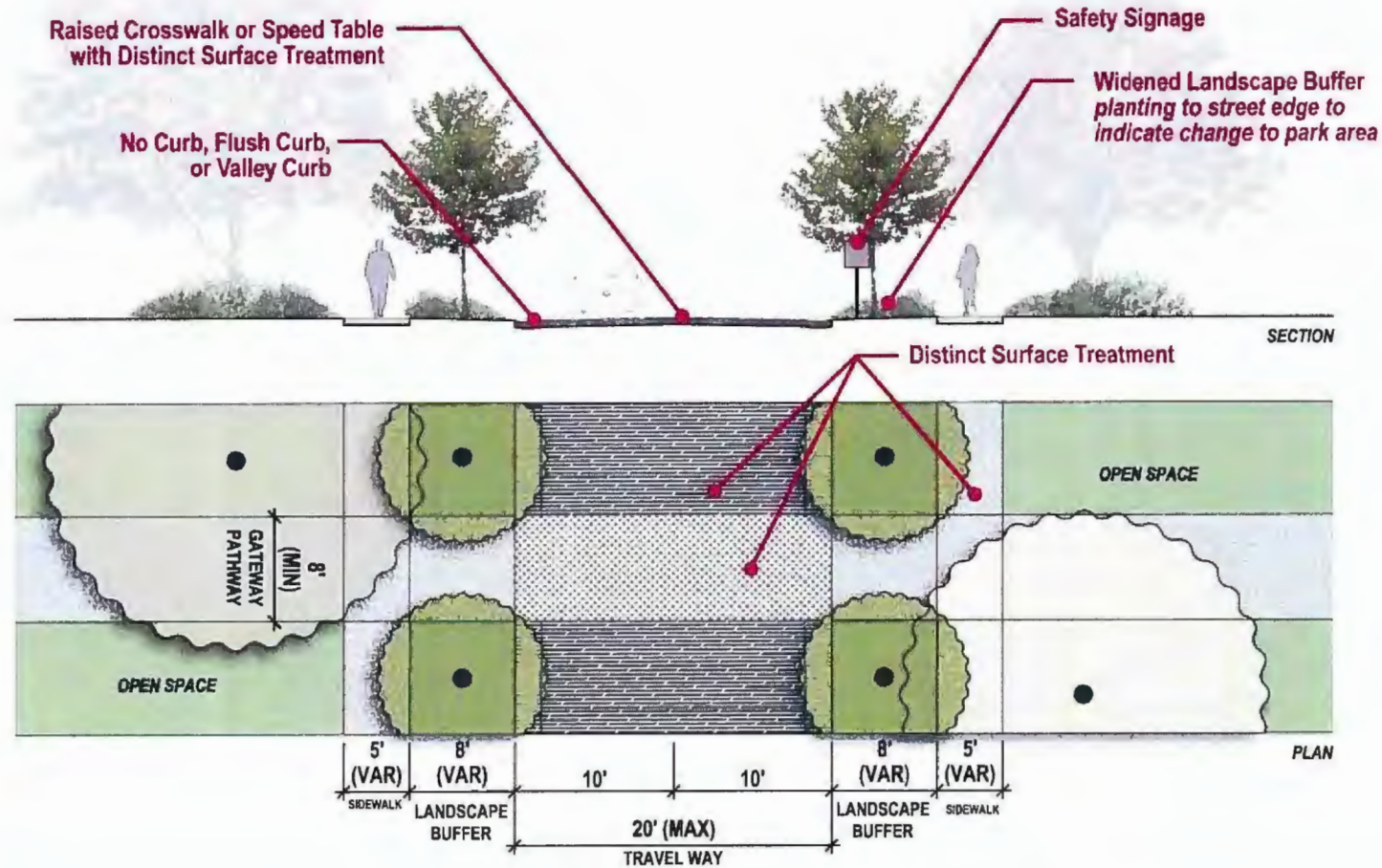
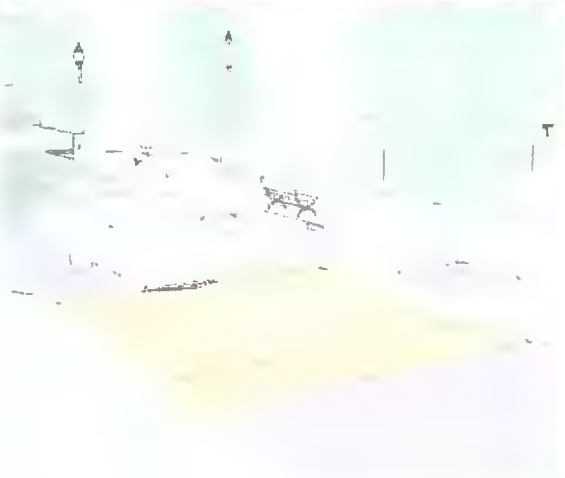


Exhibit 2.4: Example section of vehicular crossing through a gateway with traffic calming measures.

Gateway/Parkway Crossing Examples



Gateway/Parkway Crossing Examples



Central Lawn or Plaza Area Examples



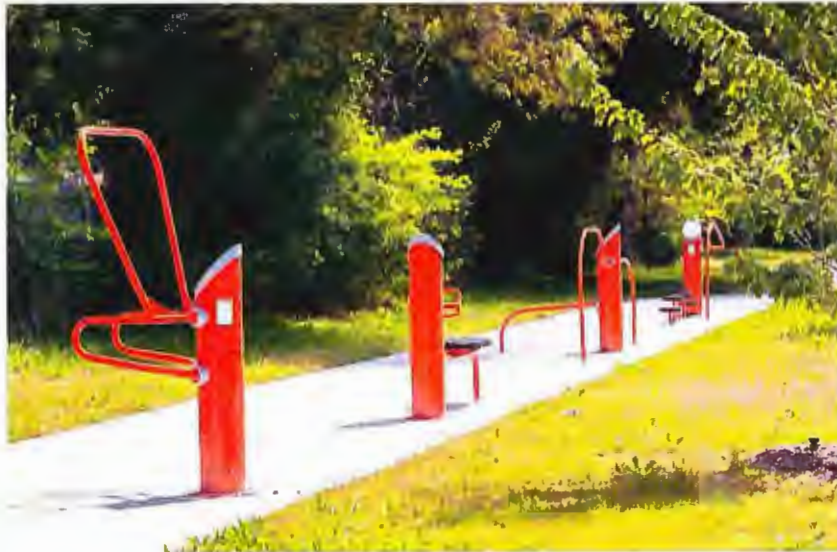
Community Garden/Urban Farm Examples



Dog Park Examples



Exercise Station Examples



Pollinator Garden Example



Playground Examples



Small Seating & Stage Area Examples



Small Sports Courts Examples



Small Sports Courts Examples



Fire Pit & Seating Area Examples



Picnic Area Example



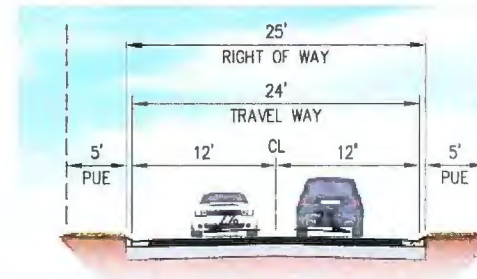
Small Plaza/Courtyard Examples



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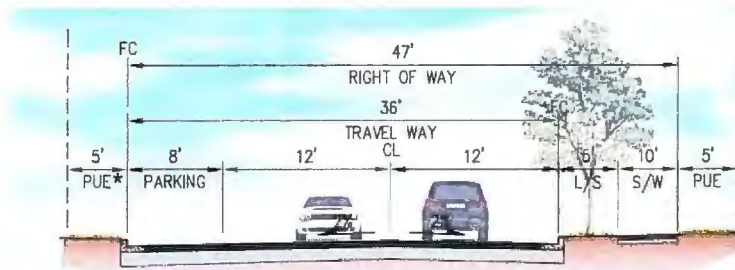
The project allows for eight road types as shown in exhibits 3.1 to 3.8.

Road type design uses City of Novato Engineering standards as a starting point with modifications, as applicable, to be project specific and provide streets that are pedestrian friendly and meet standards for fire and engineering.



25' RIGHT OF WAY
RESIDENTIAL ALLEY SECTION
(PRIVATE)
 NOT TO SCALE

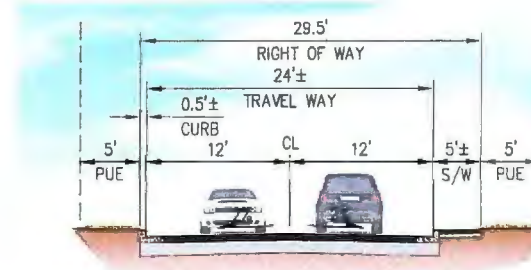
Exhibit 3.2: Residential Alley



47' RIGHT OF WAY
RESIDENTIAL STREET-MODIFIED SECTION
(LOOP ROAD)
 NOT TO SCALE

**PUE may not occur where wetlands are present*

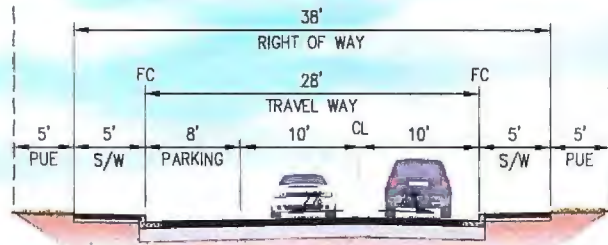
Exhibit 3.1: Residential Street



29.5' RIGHT OF WAY
RESIDENTIAL LANE SECTION
(PRIVATE)
 NOT TO SCALE

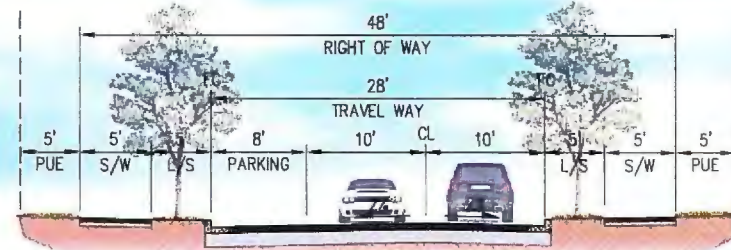
Exhibit 3.3: Residential Lane

CIRCULATION



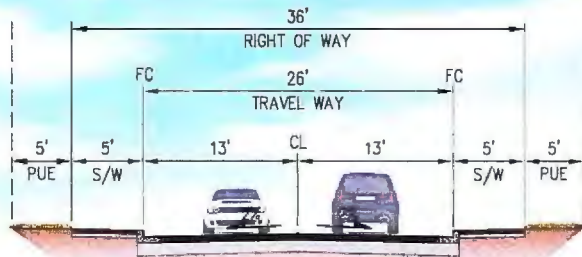
38' RIGHT OF WAY
MINOR RESIDENTIAL STREET SECTION
(PRIVATE)
 NOT TO SCALE

Exhibit 3.4: Minor Residential Street (38')



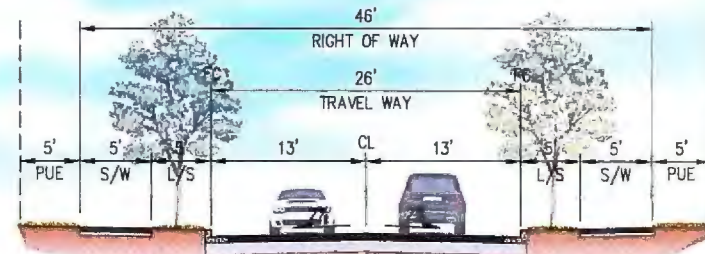
48' RIGHT OF WAY
MINOR RESIDENTIAL STREET SECTION
(PRIVATE)
 NOT TO SCALE

Exhibit 3.6: Minor Residential Street (48')



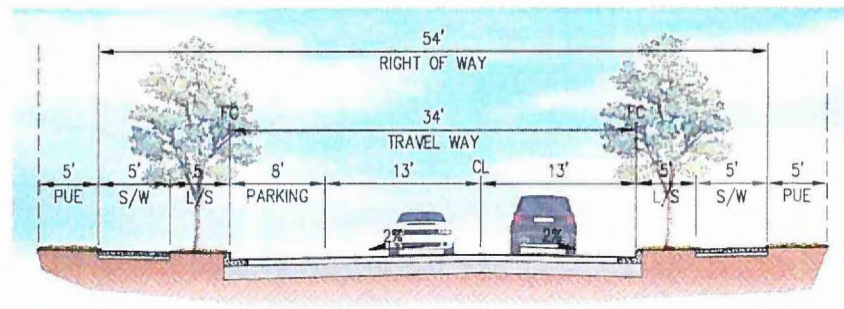
36' RIGHT OF WAY
MINOR RESIDENTIAL STREET - NO PARKING (FIRE ACCESS)
(PRIVATE)
 NOT TO SCALE

Exhibit 3.5: Minor Residential Street (36')



46' RIGHT OF WAY
MINOR RESIDENTIAL STREET - NO PARKING (FIRE ACCESS)
(PRIVATE)
 NOT TO SCALE

Exhibit 3.7: Minor Residential Street (46')



54' RIGHT OF WAY
MINOR RESIDENTIAL STREET - WITH PARKING (FIRE ACCESS)
(PRIVATE)
 NOT TO SCALE

Exhibit 3.7: Minor Residential Street (54')

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4.1 Introduction

The architectural objective standards are provided by residential building typology covering architectural elements of a building that contribute to its bulk and mass, and its impact on the pedestrian experience and streetscape.

Each section also includes allowed architectural styles with minimum standard and enhanced detailed characteristics that are required.

4.2 Single Family

A. Architecture Forward

To focus on the pedestrian experience, buildings shall be designed to be “architecture forward,” where garages and garage doors are de-emphasized in the public realm. To achieve “architecture forward”, the building elevation design shall include at minimum one of the following:

- Habitable space is located in front of the garage a minimum of 18 inches
- Garage doors are recessed a minimum of 18 inches from wall plane
- Second level cantilever over garage of minimum of 18 inches

- A low courtyard wall located a minimum of 5 feet in front of the garage wall, with a maximum height of 3 feet, to create an outdoor room. Walls shall not impede sight visibility requirements of City of Novato.
- A maximum of 50% of a required front yard area may be paved.

B. Garages and driveways

- Garages shall have a 16’ wide maximum garage door
- Garages shall be accessed via a street, lane, or alley



Example images of low courtyard walls creating an extension of living space, creating an “architecture forward” experience that de-emphasizes the garage.

C. Elevation articulation

The massing along the street shall provide a residential streetscape of different heights and profiles, creating articulation and points of visual interest. To achieve this, all homes shall include at a minimum one of the following:

- Single-story element such as a porch, balcony, courtyard, or conditioned first-floor space
- Minimum of one wall plane break on elevations that face a street.
- Bay window
- Accent roof (based on architectural styles)



D. Building Entry

The building entry shall be identified by either: facing the street directly, or if indirectly with a pedestrian path that is a minimum of 4 feet wide that connects from the sidewalk to the porch/door.

E. Materials and Colors

Materials and colors have a direct impact on the streetscape and neighborhood. To ensure high quality design and visually interesting streetscapes, all materials and colors used and applied shall terminate at inside corners, and/or shall wrap to massing transition points in a building and continue to the ground terminating 8" above grade or 2" above a paved surface to allow for water drainage and avoid insect infestations.

F. Architectural Variation

To create a dynamic development with high quality design, the Project emphasizes a diversity of styles, elevations, materials, and colors. The achieve variation in design:

- Each development shall provide a minimum of 3 elevations for each style proposed by using different combinations of materials and colors, and/or design enhancements listed for the architectural style.

- The same elevation design can not be placed next to or across the street from each other.

G. Architectural Styles

The architecture of the buildings shall be chosen from the following prescribed styles.

Each style is broken into two sections:

1. Defining characteristics with minimum and maximum standards where applicable, and
2. Additional Enhancements with a required minimum of two from the section.

Example imagery is provided for reference and inspiration.

ARCHITECTURAL OBJECTIVE STANDARDS

Craftsman Bungalow



DEFINING CHARACTERISTICS (include all, unless otherwise noted)	
Roof Form	<ul style="list-style-type: none"> Primary roof form: Gable roof form Subsidiary roof forms, and/or dormers smaller than primary roof form shall be: Gable, hipped, and/or shed form Roof pitch: 4:12 min, 6:12 max 12"-18" Eaves 12"-18" Rakes
Roof Materials (Max. 2)	<p>1 material for Primary roof, and 1 material for Subsidiary roof from the following:</p> <ul style="list-style-type: none"> Min. 40 year dimensional composition roof shingles Standing Seam metal roof Flat Concrete Roof Tiles
Exterior Finish (Max. 2)	<ul style="list-style-type: none"> Shingle siding Horizontal Lap siding with 4"-7" exposure Stucco, fine, heavy or pebble dash finish
Windows and Doors	<p>Windows: Mix and match, unlimited quantity of the following:</p> <ul style="list-style-type: none"> Single Hung Casement Awning Square or Vertical Proportion Windows <ul style="list-style-type: none"> Accent Painted Entry Doors Garage Doors – panelized or carriage house sectional doors
Trims and Accents	<ul style="list-style-type: none"> Wood Brackets or Kickers Wood or Stucco Corbels Exposed Rafter Tails
Colors	<ul style="list-style-type: none"> No more than 3 main body colors, or combination of colors and brick/stone veneer per building
ADDITIONAL ENHANCEMENTS (minimum 2 required)	
	<ul style="list-style-type: none"> Brick and/or stone veneer Straight Wood Columns or Posts (6" min. dim.) Tapered Wood Columns (8" min. dim.) Brick or Stone Veneer Columns (12" min. dim.) Wood Railings Wood or Stucco belly band between first and second floor Real or Simulated gable end vents

ARCHITECTURAL OBJECTIVE STANDARDS - SINGLE FAMILY

DEFINING CHARACTERISTICS (include all, unless otherwise noted)

Roof Form	<ul style="list-style-type: none"> One Primary Roof Form Subsidiary roof forms smaller than primary roof form Hipped Roofs, 4:12 pitch or less 18" min Eaves Enclosed soffits at eaves
Roof Materials (Max. 1)	<ul style="list-style-type: none"> Min. 40 year dimensional composition roof shingles Flat Concrete Roof Tiles
Exterior Finish (Min. 2, Max. 3)	<ul style="list-style-type: none"> Horizontal Lap Siding with 4"-7" exposure Horizontal T&G Siding Brick or Stone Veneer Stucco, smooth or fine dash finish
Windows and Doors	<ul style="list-style-type: none"> Casement or Single Hung Windows (Pick one) No window grid or horizontal grid No shutters Vertical proportions for individual windows <i>"Vertical proportion means that a window's vertical dimension is greater than the horizontal dimension"</i>
Trims and Accents	<ul style="list-style-type: none"> Horizontal trim bands above or below window groupings to give elevations a horizontal emphasis
Colors	<ul style="list-style-type: none"> No more than 3 main body colors, or combination of colors and brick/stone veneer per building

ADDITIONAL ENHANCEMENTS (minimum 2 required)

- Flat Roofs for minor roof forms totaling less than 10% of roof area
- Fixed Accent Windows
- Rectangular or Square columns and pilasters - minimum of 8" width in any direction
- Group multiple windows to create a horizontal band of windows
- Continuous stucco, brick, or stone base running from bottom of windows to base of wall at front or enhanced elevations

Prairie

